

Office and Retail Space for Sale or Lease

Historic 100 Center  
109 Old Stable Lane  
Mishawaka, Indiana



**PRICE REDUCED! Seller Financing Available | Office, Retail and Restaurant Opportunities**



## Snapshot

Building:	99,384 SF
Available:	Suites: 996 SF - 8,125 SF
Land:	1.05 Acres
Zoning:	C3 - City Center Commercial
Parking:	In Common
Lease Rate:	\$10.00 to \$12.00 PSF NNN
Reduced Price:	<b>\$1,300,000 (\$1,600,000)</b>

## Property Details

**Price reduced!** The former Kamm Brewery, more recently known as The 100 Center, comprises approximately 100,000 SF and has been a part of Mishawaka's history since 1857. In the 1970s, this 19th-century brick complex was once known as the "place to go" for a unique shopping, restaurant and entertainment experience. The 100 Center has been an icon in the community with a long history of dozens of retail and restaurant businesses attracting visitors from all around. Located near the quaint St. Joseph River with views of Kamm Island, this property offers a great aesthetic to compliment an office, multifamily, or retail use and offers ample parking in common.

Video available at: [Historic 100 Center](#)

4100 Edison Lakes Parkway, Suite 350  
Mishawaka, Indiana  
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[www.cressy.com](http://www.cressy.com)

Global Brokerage Division of Cressy Commercial Real Estate

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## Property Photos



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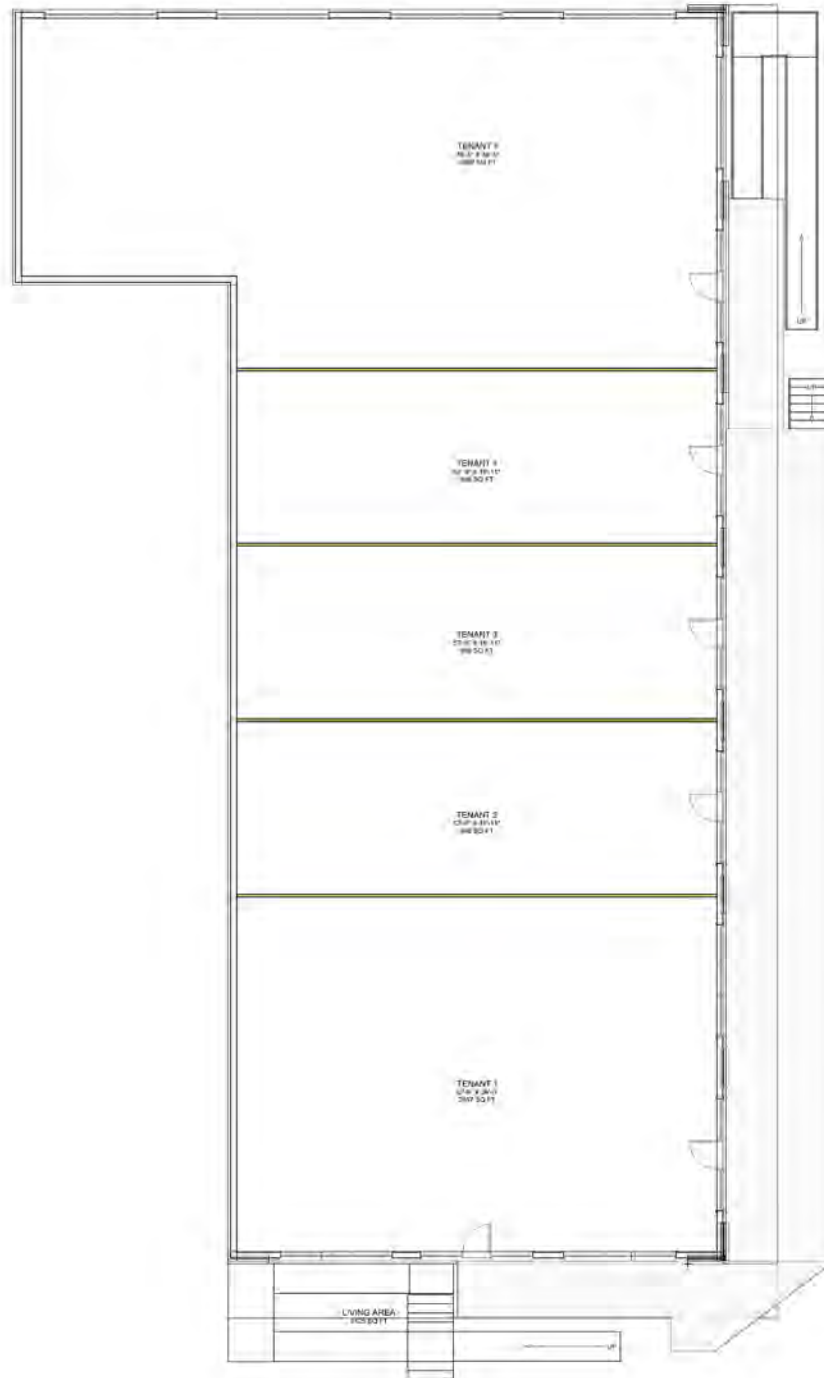
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## Conceptual First Floor Plan



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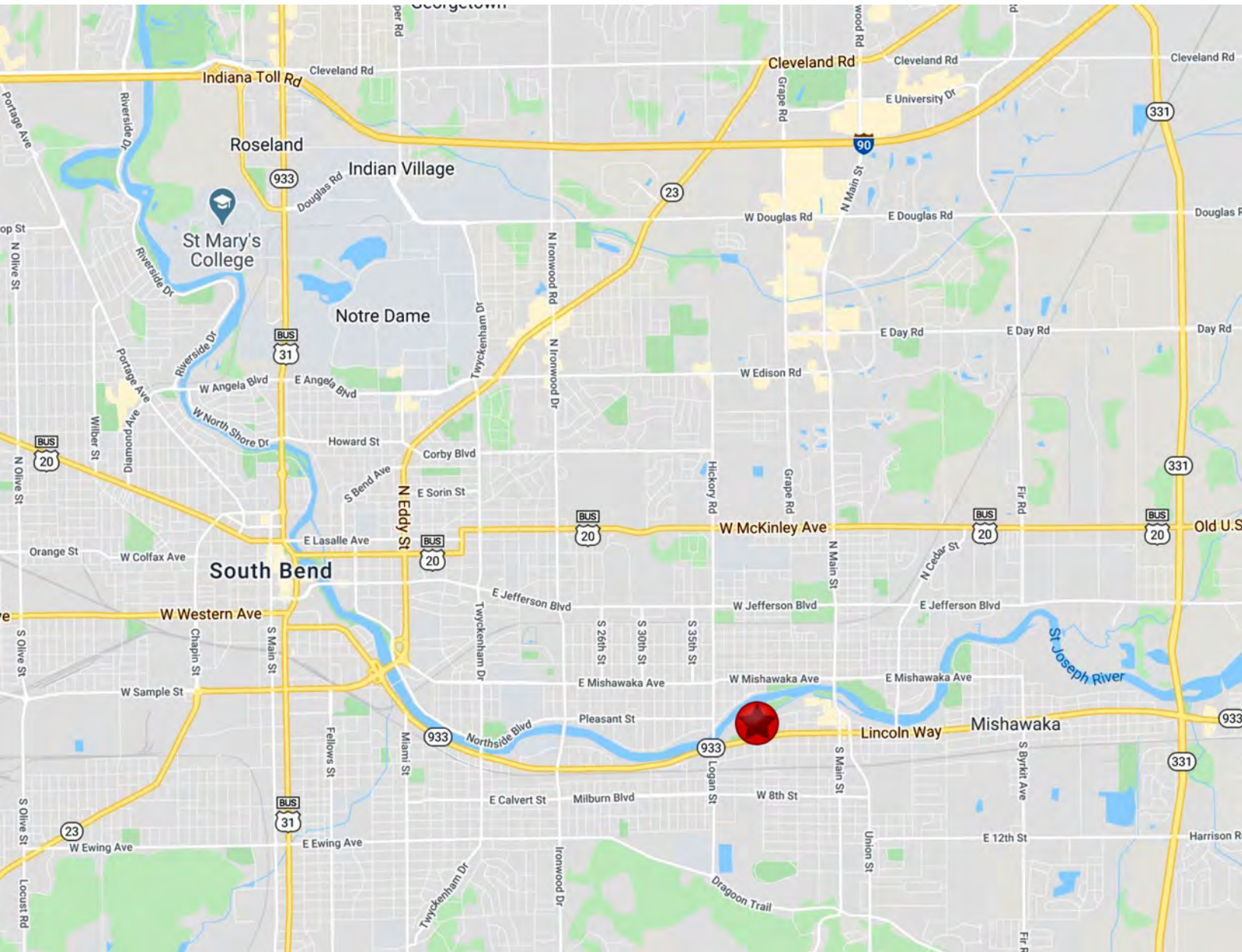


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Mishawaka, Indiana



Located Just Minutes From Notre Dame and I-80/90 Toll Road



## Location

Located just 5 miles from the University of Notre Dame, 4 miles from Downtown South Bend and 7 miles to the Indiana Toll Rd. I-80/90.

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Mishawaka, Indiana



Growing Downtown Area with Many Amenities | Near New Mixed Use Development



## Area Description

The property is located in the central business district of Mishawaka surrounded by restaurants, professional office buildings, financial banking businesses, US post office, Mishawaka library, and commercial/retail businesses. The property is walking distance to Kamm Island Park and the river walk area. It is also near the new \$45 million mixed-use development, The Mill at Ironworks Plaza, which will consist of 232 luxury apartment homes and 13,213 SF of retail. Approximately 15,000 cars drive by the property daily. The downtown has an pro-active Mishawaka Business Association.

2018 DEMOGRAPHICS	1 MILE	3 MILE	5 MILE
POPULATION	15,112	83,321	156,337
NUMBER OF HOUSEHOLDS	6,546	36,541	63,722
AVERAGE HOUSEHOLD INCOME	\$44,738	\$54,384	\$57,760

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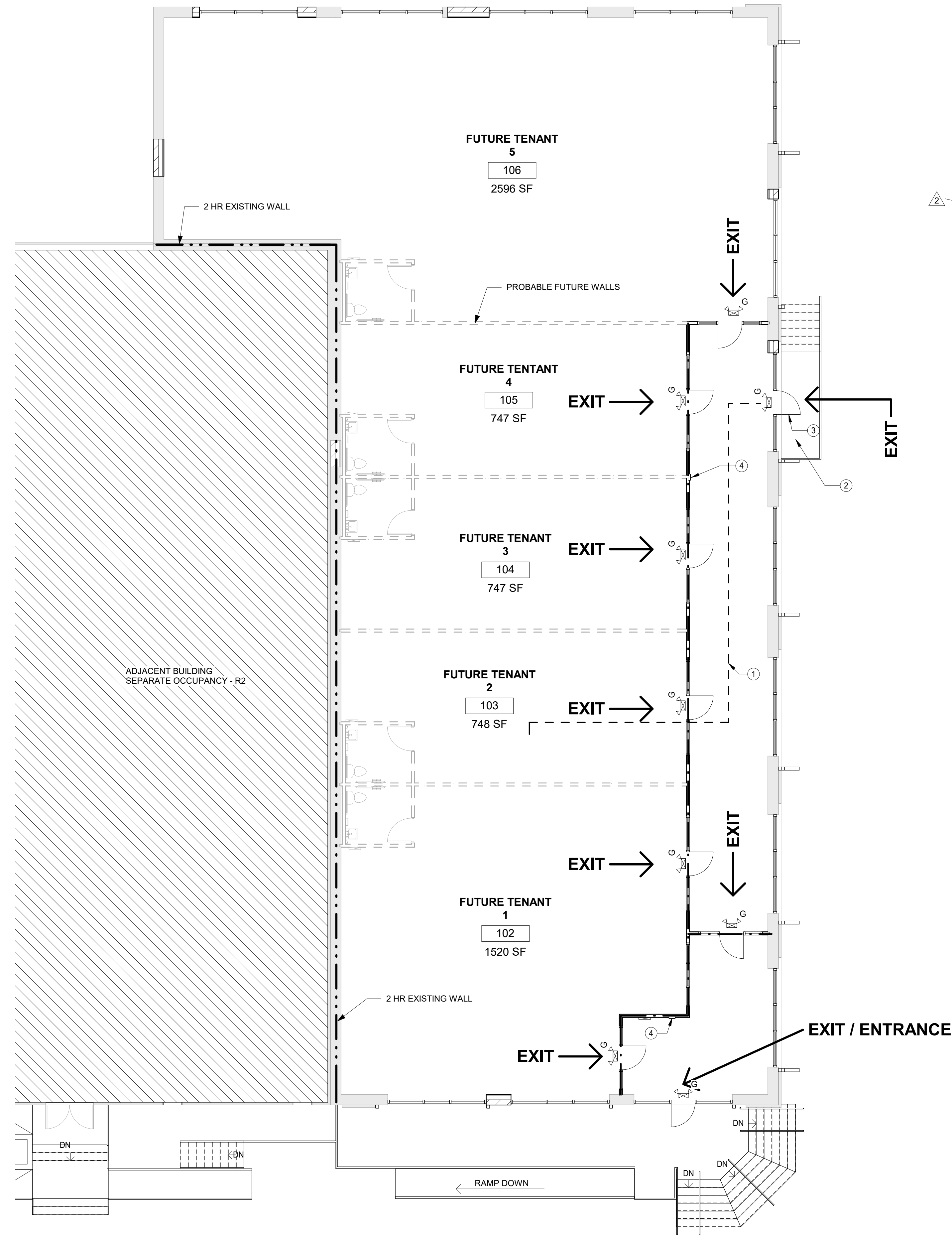
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1 LIFE SAFETY PLAN  
1/8" = 1'-0"

#### EXITING REQUIREMENTS:

# OF BUILDING EXITS ( TABLE 1021.2) TOTAL OCCUPANTS WILL MOST LIKELY BE OVER 50 PEOPLE. MINIMUM OF 2 EXITS REQUIRED.

ACCESSIBLE EXITS (SECTION 1007)  
ONLY 1 EXIT IS ACCESSIBLE WITH RAMP. OTHER EXITS HAVE AREA OF RESCUE PER SECTION 1007.7.

ACCESSIBLE ENTRANCES (SECTION 1105)  
PER SECTION 1103.2.2 - EXISTING BUILDINGS SHALL COMPLY WITH SECTION 3411.

SECTION 3411.8.1 EXCEPTION 1 - IF THE BUILDING HAS AN ACCESSIBLE ENTRANCE, OTHER ALTERED ENTRANCES ARE NATO REQUIRED TO BE ACCESSIBLE. A SIGN COMPLYING WITH SECTION 110 WILL BE PROVIDED TO INDICATE THE ACCESSIBLE ENTRANCE.

#### BUILDING OCCUPANT LOAD:

THIS SPACE IS SHELLED OUT FOR FUTURE TENANTS.  
ASSUMED OCCUPANCY IS TYPE M (MERCANTILE).

#### COMMON PATH OF EGRESS TRAVEL:

MAXIMUM TRAVEL DISTANCE IS 75' (TABLE 1014.3)

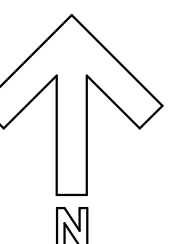
#### KEYNOTES:

1. THIS LINE INDICATES MAXIMUM EGRESS TRAVEL DISTANCE TO AN EXIT. DISTANCE IS LESS THAN 75'
2. DESIGNATED AREA FOR ASSISTED RESCUE 30" x 48" ( SECTION 1007.7)
3. SEMI-RECESSED FIRE EXTINGUISHER CABINET.

#### LEGEND

1 HOUR FIRE WALL	---
EGRESS PATH	- - - - -
EXIT	EXIT →
EXIT SIGN WITH EMERGENCY LIGHT	⊠

GRAPHIC SCALE  
0' 4' 8' 16'



PROFESSIONAL'S SEAL



NO.	DATE	SUBMISSION
2	4-23-19	CODE ISSUES

SHEET NAME

**LIFE SAFETY  
PLAN**

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19

SHEET NUMBER

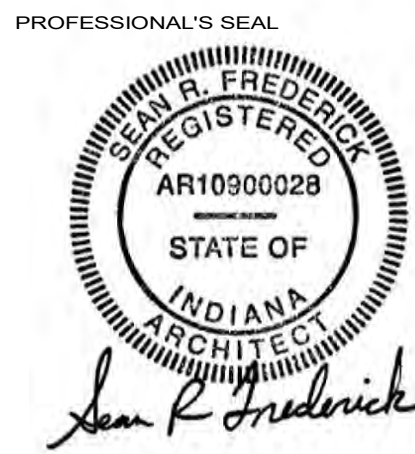
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CONSTRUCION DOCUMENTS

100 CENTER EAST BUILDING  
RENOVATION

MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION

SHEET NAME

OVERALL SITE  
PLAN

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19

SHEET NUMBER

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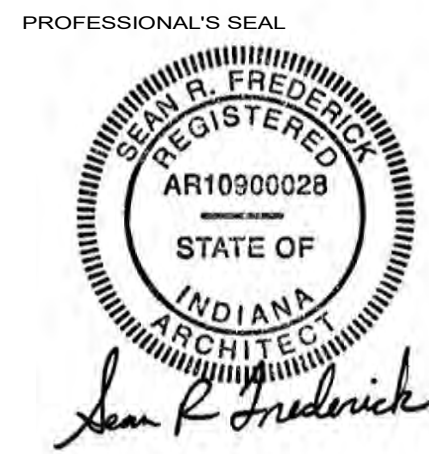




CONSTRUCTION DOCUMENTS

100 CENTER EAST BUILDING  
RENOVATION

MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION

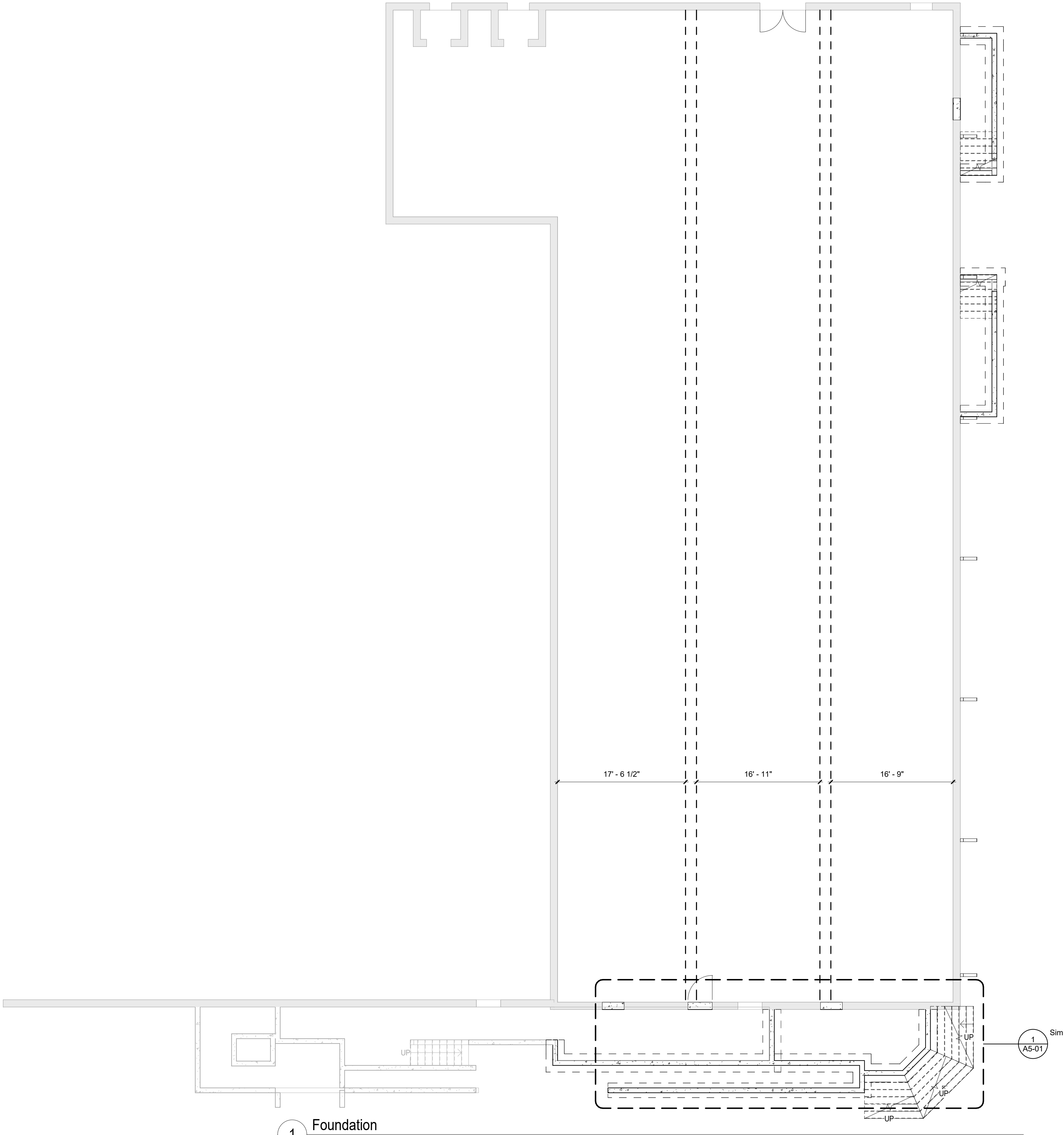
SHEET NAME

FOUNDATION  
PLAN

ARCHITECT: SRF	DRAWN BY: Author
JOB NO. 18074-00	CHECKED BY: Checker
SCALE: 1/8" = 1'-0"	DATE: 4-23-19
SHEET NUMBER	

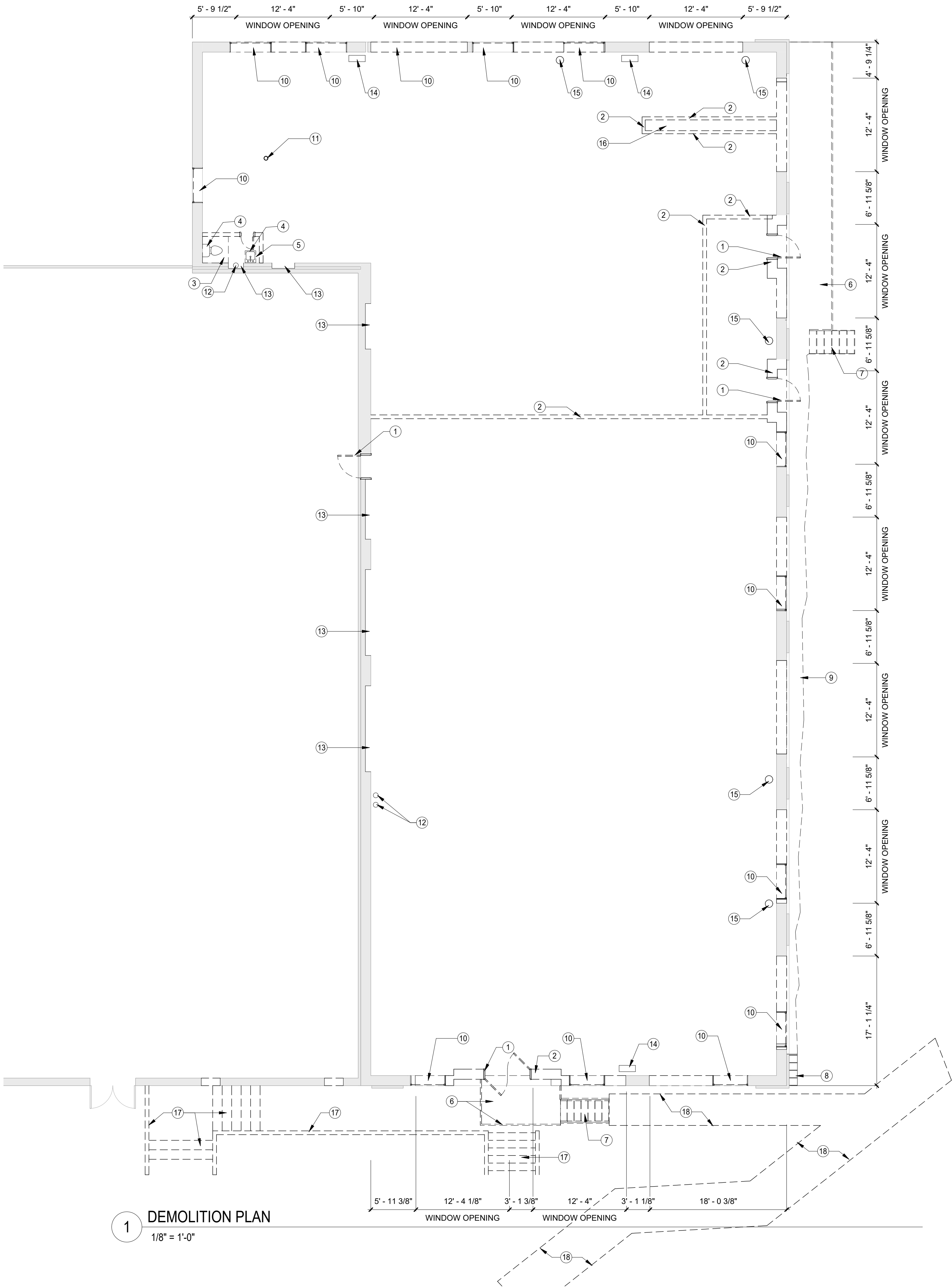
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1 Foundation  
1/8" = 1'-0"





1 DEMOLITION PLAN  
1/8" = 1'-0"

GENERAL REMOVAL NOTES

DISPOSE OF REMOVED MATERIALS ON A CONTINUOUS AND DAILY BASIS AS NEEDED. AN ACCUMULATION OF TRASH DEBRIS WILL NOT BE PERMITTED.

DUMPSTER LOCATION TO BE REVIEWED WITH THE OWNER PRIOR TO ITS PLACEMENT. PROTECT OWNER'S BUILDINGS AND GROUNDS; REPAIR TO ORIGINAL CONDITION IF DAMAGED.

TAKE SPECIAL PRECAUTIONS TO PROTECT OWNER'S EQUIPMENT AND FURNISHINGS FROM ALL CONSTRUCTION RELATED DUST AND DAMAGE.

CONTRACTOR IS TO PROVIDE PORTABLE FIRE EXTINGUISHERS THROUGHOUT THE AREA OF WORK AS REQUIRED BY CODE & LOCAL CODE/FIRE OFFICIALS..

MAINTAIN UNOBSTRUCTED FIRE EXITING FROM THE WORK AREA AS REQUIRED BY CODE & LOCAL CODE/FIRE OFFICIALS.

CONTRACTOR IS TO NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED. OWNER WILL TEST AND REMOVE HAZARDOUS MATERIALS WITH A SEPARATE CONTRACTOR. DO NOT REMOVE ANY ITEM UNTIL THE HAZARDOUS MATERIALS HAVE BEEN REMOVED AS INDICATED BY THE OWNER'S REPRESENTATIVE.

CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED FOR THE SUCCESSFUL INSTALLATION AND OPERATION OF NEW IMPROVEMENTS. NOT JUST FOR ITEMS SPECIFICALLY CALLED OUT ON THE DEMOLITION DOCUMENTS.

FIELD VERIFY EXTENT OF DEMOLITION PRIOR TO STARTING WORK. COORDINATE WITH ARCHITECT ANY ITEMS NOT SPECIFICALLY CALLED OUT OR FULLY UNDERSTOOD.

CONTACT THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES WHICH COINCIDE WITH ACTUAL EXISTING CONDITIONS AND THE INFORMATION SHOWN ON THESE DOCUMENTS

THE OWNER'S REPRESENTATIVE IS TO BE NOTIFIED IN WRITING AT LEAST 72 HOURS IN ADVANCE OF ANY CUTTING AND PATCHING OR OTHER CONSTRUCTION ACTIVITY THAT WILL:

- A) REQUIRE THE SHUTDOWN OF ANY BUILDING SYSTEM/UTILITY (INCLUDING PLUMBING, HVAC, ELECTRICAL)
- OR
- B) DISTURB STRUCTURAL MEMBERS OF THE BUILDING INCLUDING FLOOR AND ROOF DECKS, BEAMS, COLUMNS, FOUNDATIONS, ETC.

LEAVE PREMISES AND ADJACENT AREAS IN THEIR PRESENT CONDITION AT THE CONCLUSION OF THE REMOVAL WORK.

WRITTEN REQUEST FOR SUCH CONSTRUCTION ACTIVITIES ARE TO DESCRIBE THE EXTENT OF THE WORK, THE FIRM PERFORMING THE WORK, DATES AND TIMES REQUESTED FOR THE WORK, BUILDING SYSTEMS/ UTILITIES TEMPORARILY OUT OF SERVICE, AND DURATION OF SERVICE DISRUPTION. DO NOT PROCEED UNTIL RECEIVING WRITTEN APPROVAL FROM THE OWNER

THE CONTRACTOR SHALL REMOVE OR RELOCATE EXISTING ITEMS AS REQUIRED TO ACHIEVE THE INTENT OF THE DRAWINGS OR TO ACCOMMODATE NEW FIXTURES, PIPES, DUCTWORK, CONDUIT, ETC. AS INDICATED BY THE DOCUMENTS. AT NO ADDITIONAL COST TO THE OWNER, REFER TO ALL OTHER SHEETS IN THIS SET OF DOCUMENTS FOR RELATED INFORMATION.

THE EXTENT OF DEMO WORK WITHIN THE SPACE BEING REMODELED INCLUDES BUT IS NOT LIMITED TO: THE REMOVAL OF ALL EXISTING FLOOR FINISHES, THE ENTIRE SUSPENDED CEILING SYSTEM, ALL INTERIOR DOORS/SIDELIGHTS, INTERIOR WINDOWS ETC. AND ALL INTERIOR PARTITIONS UNLESS NOTED OTHERWISE.

WHERE EXISTING FLOORING IS REMOVED, THE BASE BID SHALL INCLUDE ANY ADDITIONAL DEMOLITION, PATCHING, GRINDING, AND UNDERLAYMENT AS REQUIRED BY FLOORING SUBCONTRACTOR TO ACHIEVE A SMOOTH AND LEVEL FINISHED FLOOR WITHOUT VISIBLE IMPERFECTIONS.

WHERE AN EXISTING WALL HAS BEEN REMOVED, REPAIR AND PATCH THE EXISTING FLOOR TO MAKE SMOOTH AND FREE FROM IMPERFECTIONS TO RECEIVE NEW FLOOR FINISH. LEVEL THE FLOOR IF THE ELEVATION BETWEEN THE TWO FORMER ROOMS ARE DIFFERENT.

GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WORK WITH NEW WORK AS INDICATED IN FULL CONSTRUCTION DOCUMENTS.
- B. COORDINATE REMOVAL OF EXISTING ITEMS ON WALLS (CONDUITS, WIRING, PIPING, ETC. WITH SCOPE OF WORK SCHEDULED TO REMAIN AND AS NECESSARY TO AMINATIN EXISTING EQUIPMENT AND SERVICES NOT SCHEDULED FOR DEMOLITION.
- C. REFER TO AND COORDINATE WITH REFLECTED CEILING, ELECTRICAL, AND MECHANICAL SHEETS FOR ADDITIONAL DEMOLITION WORK.
- D. CUT AND PATCH EXISTING WALLS TO REMAIN AS NECESSARY FOR MECH, PLUMBING, AND ELECTRICAL WORK.
- E. REMOVE WINDOWS TREATMENTS FROM ALL WINDOWS IN BUILDING. PATCH/REPAIR LEAVE READY FOR NEW WINDOW TREATMENTS.

DEMOLITION KEYNOTES

1. REMOVE DOOR, FRAME AND HARDWARE IN THEIR ENTIRETY (TYP.)
2. REMOVE WALL AS NECESSARY TO COMPLETE SCOPE OF NEW WORK..
3. REMOVE FLOORING AND BASE IN THEIR ENTIRETY. LEAVE AREA READY TO RECEIVE NEW WORK. (TYP.)
4. REMOVE ALL BATHROOM ACCESSORIES IN THEIR ENTIRETY.
5. REMOVE SINK BASE CABINET.
6. REMOVE WOOD DECK AND WOOD RAILING
7. REMOVE WOOD STAIRS
8. REMOVE CONCRETE STAIRS.
9. SAW CUT AND REMOVE CONCRETE LOADING DOCK. GRIND SMOOTH. IF THER IS NO CONSTRUCTION JOINT AT INTERIOR SLAB, ASK ARCHITECT FOR ADDITIONAL INFORMATION.
10. REMOVE WINDOW AND FILL IN WALL FOR NEW WORK.
11. EXISTING 6" PIPE COLUMN TO REMAIN.
12. EXISTING PLUMBING RISER, DETERMINE IF RISER IS REQUIRED TO REMAIN. IF NOT REMOVE. IF REQUIRED SCRAPE OLD PAINT AND PREPARE FOR NEW PAINT.
13. EXISTING WALL CUT OUT. COORDINATE WITH OWNER.
14. REMOVE ELECTRICAL PANEL BOXES AND ALL REALATED ELECTRICAL IN ENTIRE SPACE.
15. EXISTING DOWNSPOUT THRU FLOOR TO BE REMOVED. COORDINATE NEW ROUTING WITH NEW CONSTRUCTION.
16. REMOVE ALL PLUMBING PIPING BACK TO MAIN AND CAP. REMOVE ALL ABANDONED PIPING.
17. REMOVE EXISTING STEPS AND RETAINING WALL AS NECESSARY TO COMPLETE NEW WORK FOR RAMP AND STAIRS.
18. REMOVE PORTION OF EXISTING SIDEWALK AS NECESSARY TO COMPLETE SCOPE OF NEW WORK.

NOTE:

IT IS THE ARCHITECT'S INTENT TO HAVE THE EXISTING NON-STRUCTURAL INTERIOR WORK DEMOLISHED AND REMOVED. UNLESS SHOWN TO REMAIN. AN ATTEMPT HAS BEEN MADE TO LOCATE AND IDENTIFY EXISTING BUILDING ELEMENTS, UTILITIES AND SYSTEMS. HOWEVER, NOT EVERY SINGLE FIXTURE, PIPE, DUCT,CONDUIT, ETC. REQUIRED TO BE REMOVED OR RELOCATED IS NECESSARILY SHOWN OR KEYNOTED.

CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED FOR THE SUCCESSFUL INSTALLATION AND OPERATION OF NEW IMPROVEMENTS. NOT JUST FOR ITEMS SPECIFICALLY CALLED OUT ON THE DEMOLITION DOCUMENTS. DEMOLITION PLAN IS BASED UPON OBSERVED PHYSICAL CONDITIONS. CONTRACTOR IS TO VERIFY THAT COLUMNS AND BEAMS ARE LOCATED AS INDICATED ON THE PLANS.

GENERAL PLUMBING REMOVAL NOTES

REFER TO OWNER FOR SHUT-OFF PROCEDURES FOR PLUMBING, FIRE PROTECTION, AND HVAC SYSTEMS.

WHERE PLUMBING FIXTURES ARE TO BE REMOVED, CAP WASTE LINES BELOW SLAB; REMOVE VENT LINES AND SEAL ROOF PENETRATIONS; REMOVE HOT AND COLD WATER LINES BACK TO MAINS AND CAP STUBS.

EXISTING WASTE, VENT, AND HOT/COLD WATER LINES THAT REMAIN FROM PREVIOUSLY REMOVED FIXTURES AND ARE EXPOSED DURING REMOVAL ARE TO BE REMOVED BACK TO THEIR RESPECTIVE STACKS OR MAINS AND CAPPED.

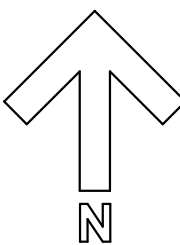
REMOVE FLOOR DRAINS AND PIPING BACK TO MAINS AND CAP. AS REQUIRED FOR NEW WORK.

OWNER RETAINS SALVAGE RIGHT ON BALANCE OF FIXTURES.

RELOCATE EXISTING SPRINKLER HEADS IN NEW LOCATIONS. AS REQUIRED FOR NEW WORK.

LEGEND

- — — — — EXISTING CONSTRUCTION (TO REMAIN)
- - - - - EXISTING CONSTRUCTION (TO BE REMOVED)
- · — · — EXISTING 1 HOUR FIRE RATED WALL
- · · — · EXISTING 2 HOUR FIRE RATED WALL



CONSTRUCTION DOCUMENTS  
100 CENTER EAST BUILDING  
RENOVATION  
MISHAWAKA, INDIANA

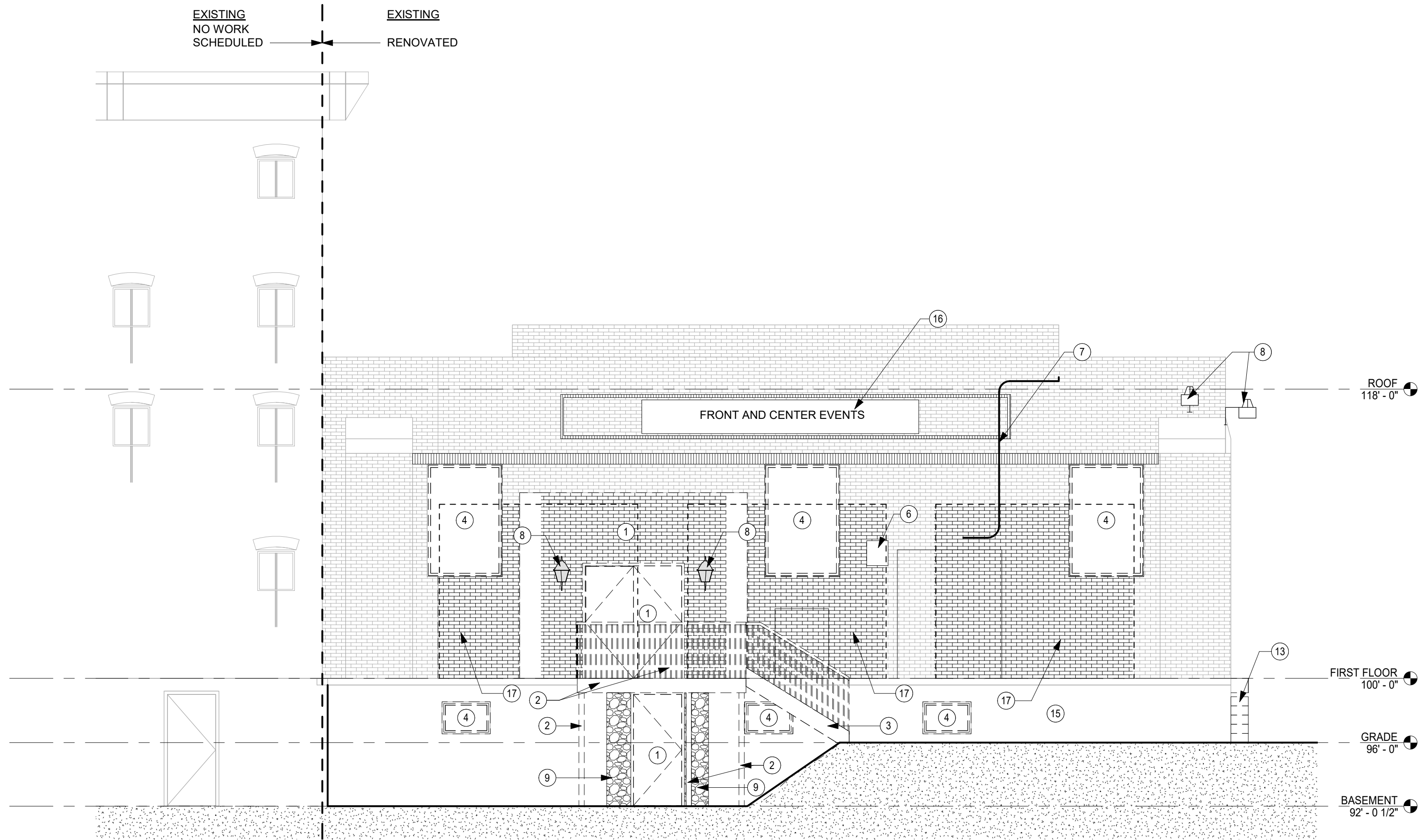


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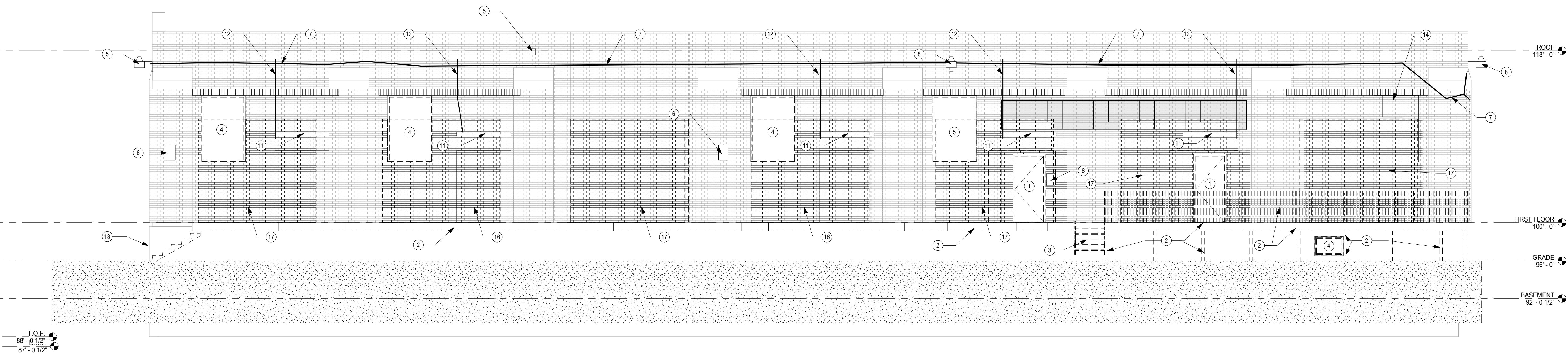
SHEET NAME DEMOLITION PLAN	
ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19
SHEET NUMBER	

A0-01





1 EXISTING SOUTH  
3/16" = 1'-0"



2 EXISTING EAST  
3/16" = 1'-0"

GENERAL NOTES

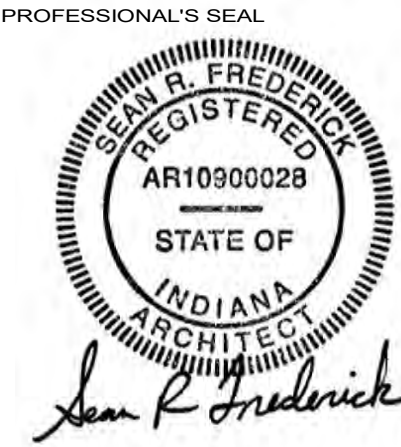
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DEMOLITION KEYNOTES

- 1. REMOVE DOOR, FRAME AND HARDWARE IN THEIR ENTIRETY (TYP.)
- 2. REMOVE WOOD DECK AND WOOD RAILING
- 3. REMOVE WOOD STAIRS
- 4. REMOVE WINDOW
- 5. REMOVE PLYWOOD FROM WINDOW. INFILL WALL FOR NEW WORK
- 6. REMOVE WALL SIGNAGE
- 7. REMOVE ELECTRIC WIRING
- 8. REMOVE LIGHT FIXTURE FROM WALL
- 9. REMOVE COURSE WORK
- 10. REMOVE CANOPY FRAME
- 11. REMOVE CANOPY ROOF OVER DOOR
- 12. REMOVE METAL ROD
- 13. REMOVE CONCRETE STAIRS
- 14. REMOVE PLYWOOD FROM WALL. INFILL WALL FOR NEW WORK
- 15. PATCH WALL TO MATCH. LEAVE READY FOR NEW WORK.
- 16. REMOVE SIGN AND POWER
- 17. REMOVE MASONRY AS NECESSARY FOR NEW WINDOW. COORDINATE SIZE WITH WINDOW SCHEDULE AND DEMOLITION PLAN



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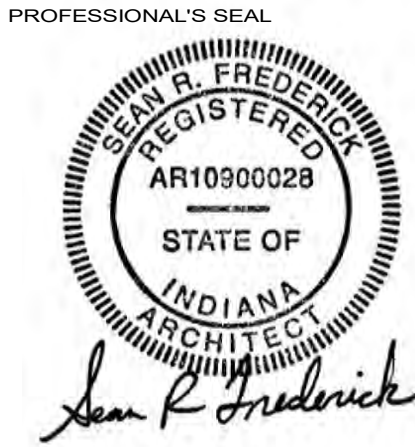
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EXISTING/ DEMO  
ELEVATIONS

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 3/16" = 1'-0"	DATE: 4-23-19
SHEET NUMBER	

A0-02





NO.	DATE	SUBMISSION

SHEET NAME

EXISTING/ DEMO  
ELEVATIONS

ARCHITECT: SRF	DRAWN BY: CAG
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SHEET NUMBER

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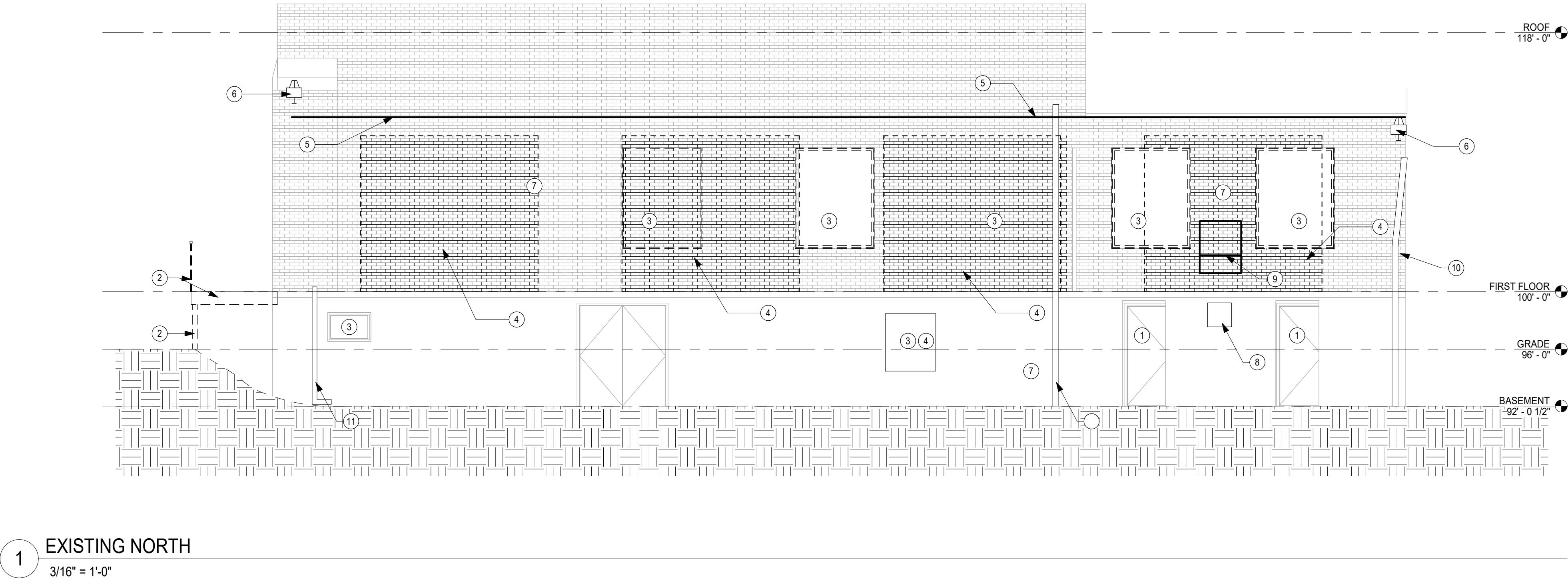
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GENERAL NOTES

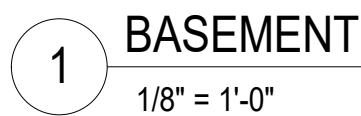
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DEMOLITION KEYNOTES

1. INFILL DOOR OPENING TO MATCH WITH EXISTING
2. REMOVE WOOD DECK AND WOOD RAILING
3. REMOVE WINDOW
4. REMOVE MASONRY AS NECESSARY FOR NEW WINDOW. COORDINATE SIZE WITH WINDOW SCHEDULE AND DEMOLITION PLAN
5. REMOVE ELECTRIC WIRING
6. REMOVE LIGHT FIXTURE FROM WALL
7. PATCH WALL TO MATCH. LEAVRE READY FOR NEW WORK.
8. REMOVE EXHAUST HOOD FRAME
9. REMOVE HVAC EXHAUST FRAME
10. REMOVE OR REPLACE GUTTER
11. REMOVE OR REPLACE WATER PIPE



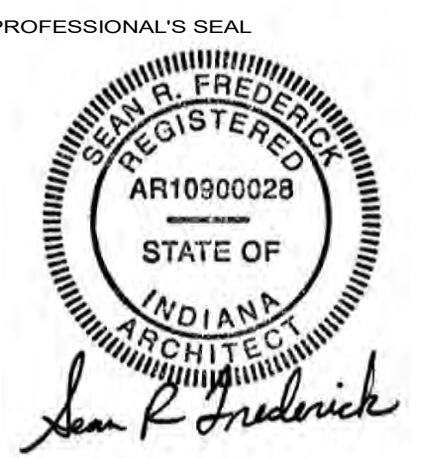




1. INFILL EXISTING OPENING WITH MASONRY OR CONCRETE. WATERPROOF TO FORM MOISTURE BARRIER
2. CUT IN NEW H.M. DOOR AND FRAME
3. 8" CONCRETE FOUNDATION FOR RAMP / STAIRS.
4. REPLACE DOOR AND FRAME WITH NEW PREHUNG STEEL DOOR, WITH THRESHOLD, CLOSER, AND THUMB LOCKSET



CONSTRUCTION DOCUMENTS  
100 CENTER EAST BUILDING  
RENOVATION  
MISHAWAKA, INDIANA



<b>NO.</b>	<b>DATE</b>	<b>SUBMISSION</b>

SHEET NAME

## BASMENT PLAN

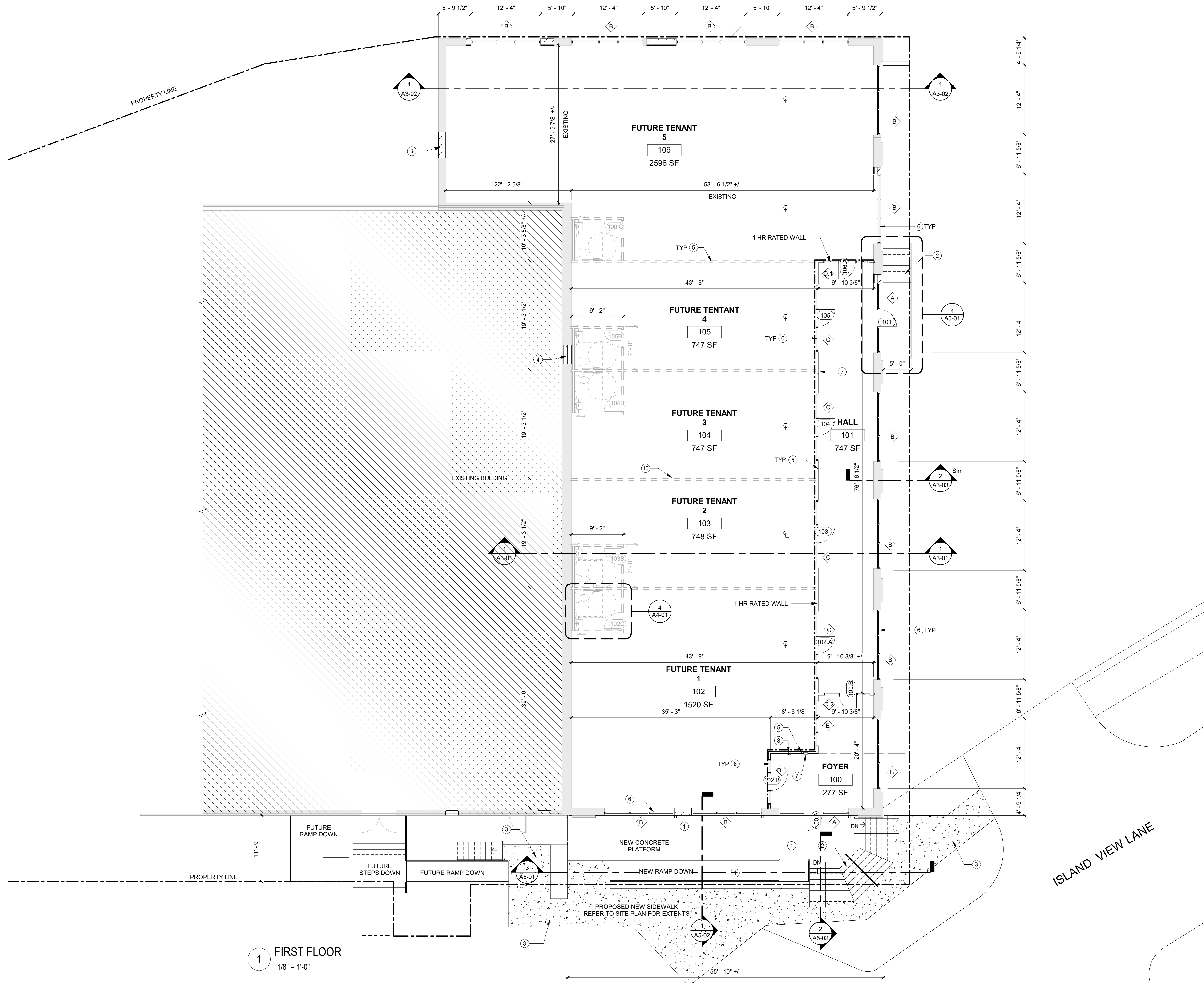
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JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 1/8" = 1'-0"	DATE: 4-23-19

SHEET NUMBER

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1 FIRST FLOOR  
1/8" = 1'-0"

### GENERAL SHEET NOTES

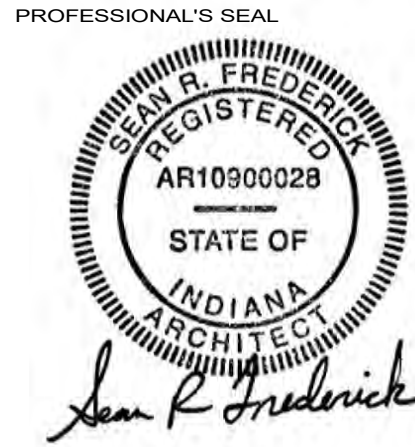
- BUILDING DIMENSIONS ARE FROM STRUCTURAL LINE (OUTSIDE OF GRID) OR COLUMN CENTER LINE. OFFICE WALL DIMENSIONS ARE FROM FROM STRUCTURAL LINE (OUTSIDE OF GRID) OR FACE OF STUD.
- SLOPE GRADE INFILL AWAY FROM BUILDING

### PLAN KEYNOTES

- CONCRETE RAMP
- CONCRETE STEPS/STAIR
- NEW 4" CONC. SIDEWALK. REFER TO SITE PLAN FOR EXTENTS
- INFILL EXISTING OPENING WITH MASONRY
- ALL NEW WALL ARE 2x4 OR 3 5/8" METAL STUD WITH 5/8" TYPE 'X' DRYWALL BOTH SIDES, FULL HEIGHT U.N.O. REFER TO LIFE SAFETY PLAN FOR FIRE WALL LOCATIONS
- STOREFRONT GLAZING SYSTEM. REFER TO A6-01 FOR DESCRIPTION
- SEMI-RECESSED FIRE EXTINGUISHER AND CABINET. SIMILAR TO LARSENS 2409-R3, (ADA). 48" TO CABINET HANDLE.
- ELECTRICAL PANEL - REFER TO ELECTRICAL SHEETS
- PROVIDE SIGN INDICATING ACCESSIBLE ENTRANCE FOR THIS DOOR
- FUTURE TENANT WALLS. - PROBABLE LOCATION



## PERMIT SET FOR 100 CENTER EAST BUILDING RENOVATION MISHAWAKA, INDIANA

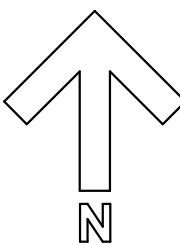
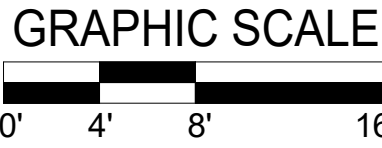


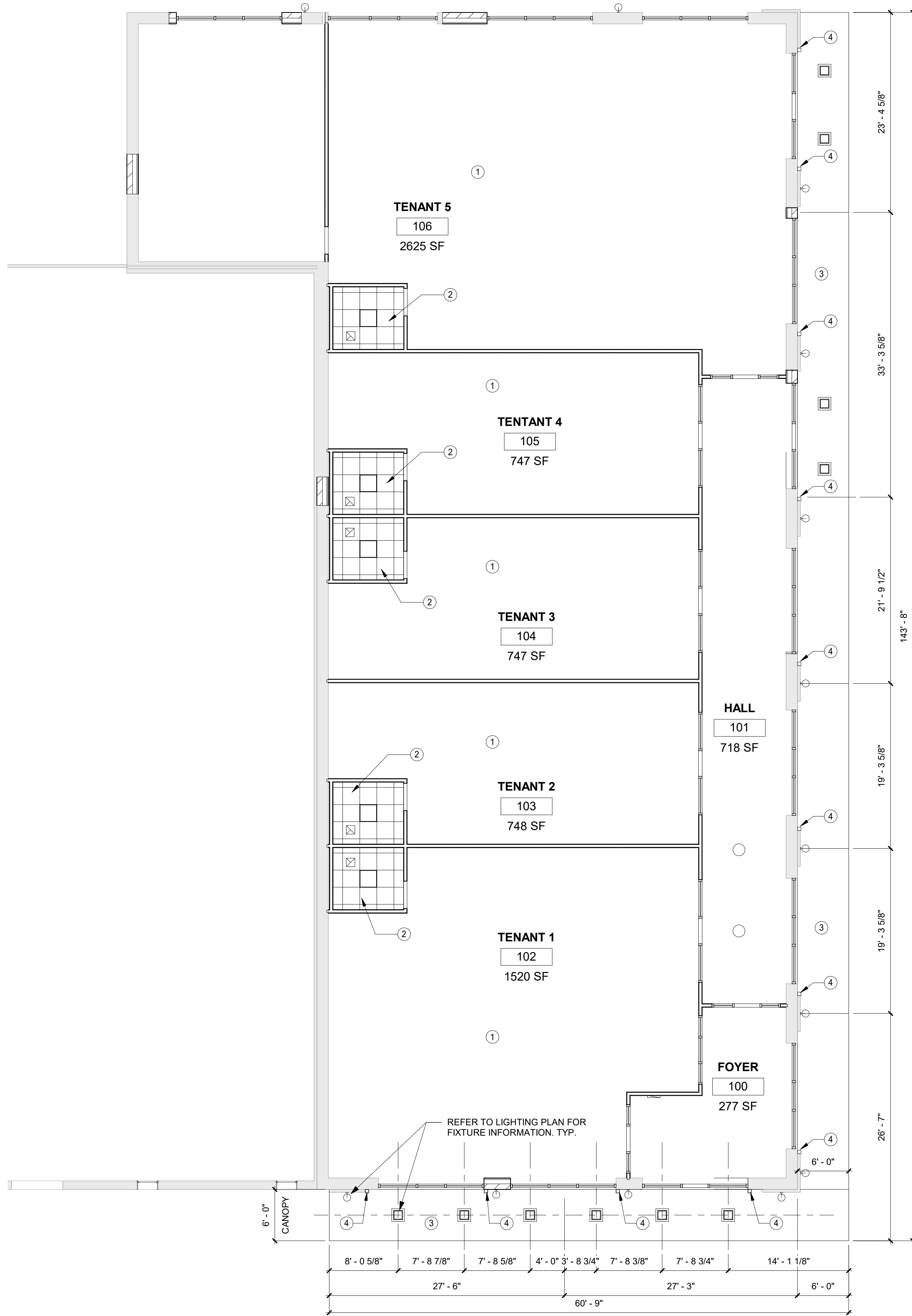
NO.	DATE	SUBMISSION
2	4-23-19	CODE ISSUES

SHEET NAME  
FLOOR PLAN

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JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 1/8" = 1'-0"	DATE: 4-23-19
SHEET NUMBER	

A1-01





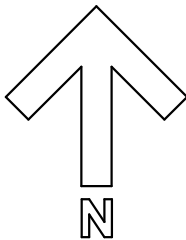
1 REFLECTED CEILING PLAN  
1/8" = 1'-0"

CEILING PLAN KEYNOTES

1. OPEN CEILING TO EXISTING STRUCTURE - PAINT UNDERSIDE OF WOOD ROOF DECK AND OPEN WEB TRUSSES. (ONLY PAINT WEBS OF TRUSS. CHORDS TO REMAIN EXPOSED WOOD)
2. SUSPENDED ACCOUSTICAL CEILING.
3. ALUMINUM CANOPY - PREASSEMBLED INDUSTRIAL LOOK 8" FASCIA ( STEEL CHANNEL PROFILE). WITH INTEGRAL DRAINAGE TO DOWNSPOUTS AND ROUGH-IN FOR LIGHTING. SIMILAR TO "MASA ARCHITECTURAL CANOPIES"
4. DOWNSPOUT LOCATION FOR CANOPY. SIZE PER CANOPY MANUFACTURER. TIE DOWNSPOUTS INTO UNDERGROUND LATERAL ADN DRAIN TO DAYLIGHT

LEGEND

- 2x2 LIGHT FIXTURE, REFER TO ELECTRICAL
- 2x4 LIGHT FIXTURE, REFER TO ELECTRICAL
- LIGHT FIXTURE, REFER TO ELECTRICAL
- RECESSED CAN LIGHT FIXTURE, REFER TO ELECTRICAL
- SURFACE MOUNTED LIGHT FIXTURE, REFER TO ELECTRICAL
- SUPPLY DIFFUSER, REFER TO MECHANICAL
- RETURN DIFFUSER, REFER TO MECHANICAL
- SUSPENDED ACOUSTICAL CEILING SYSTEM
- GYPSUM BOARD CEILING OR BULKHEAD
- CEILING HEIGHT



CONSTRUCTION DOCUMENTS  
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MISHAWAKA, INDIANA



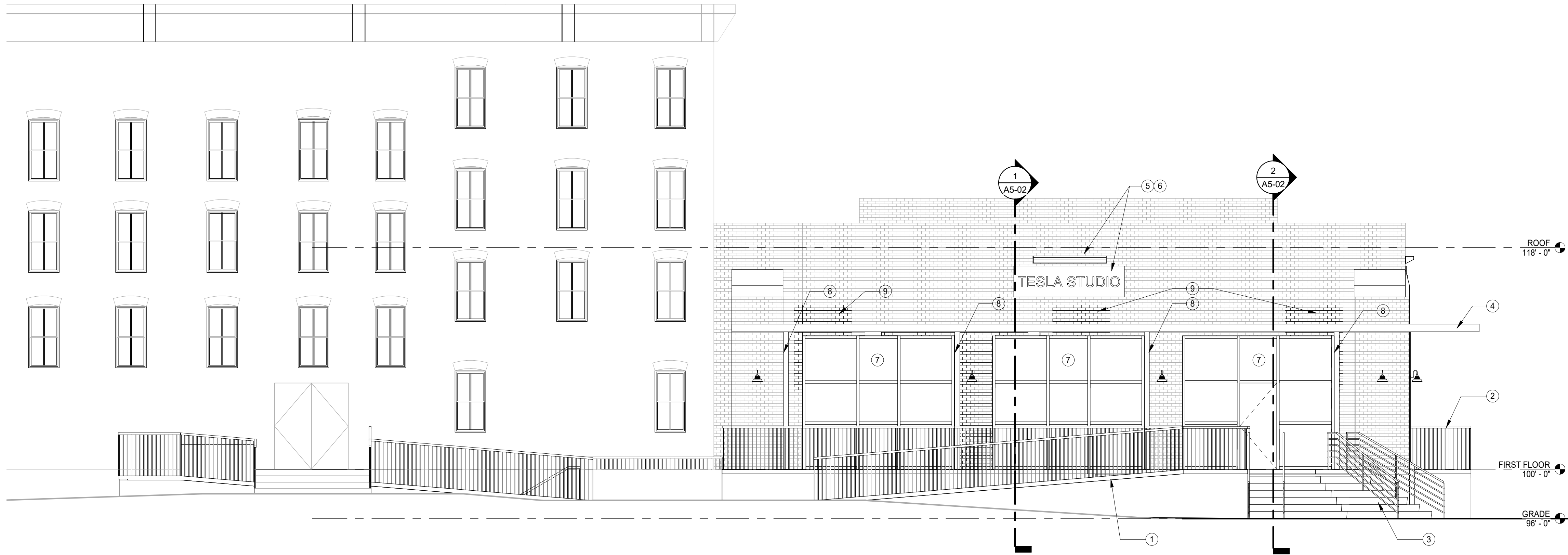
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SHEET NAME  
REFLECTED  
CEILING PLAN

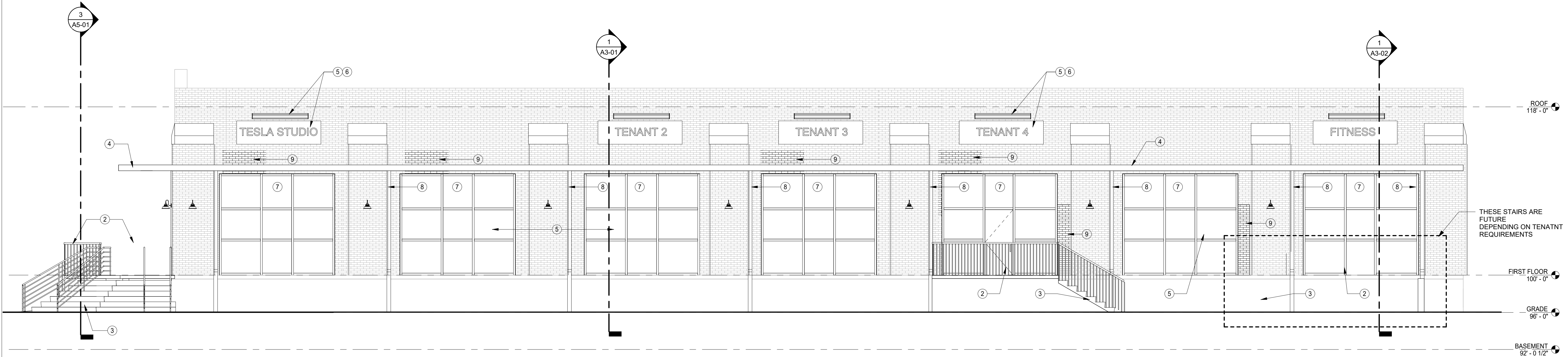
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JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19
SHEET NUMBER	

A1-02





3 SOUTH ELEVATION WITH STAIRS  
3/16" = 1'-0"



1 EAST ELEVATION  
3/16" = 1'-0"

#### ELEVATION KEYNOTES

1. 4" CONCRETE RAMP WITH BROOM FINISH SLOPE 1/12 MAX
2. PREFINISHED BLACK ALUMINUM METAL RAILING. 42" HIGH
3. CONCRETE STAIRS/STEPS.
4. ALUMINUM CANOPY - PREASSEMBLED INDUSTRIAL LOOK 8" FASCIA ( STEEL CHANNEL PROFILE). WITH INTEGRAL DRAINAGE TO DOWNSPOUTS AND ROUGH-IN FOR LIGHTING. SIMILAR TO "MASA ARCHITECTURAL CANOPIES"
5. PROPOSED SIGN LIGHT
6. PROPOSED TENANT SIGNAGE
7. ALUMINUM STOREFRONT GLAZING SYSTEM
8. DOWNSPOUT LOCATION FOR CANOPY. SIZE PER CANOPY MANUFACTURER. TIE DOWNSPOUTS INTO UNDERGROUND LATERAL AND DRAIN TO DAYLIGHT.
9. INFILL EXISTING WINDOW OPENING WITH SALVAGED BRICK



## CONSTRUCTION DOCUMENTS 100 CENTER EAST BUILDING RENOVATION MISHAWAKA, INDIANA

PROFESSIONAL'S SEAL



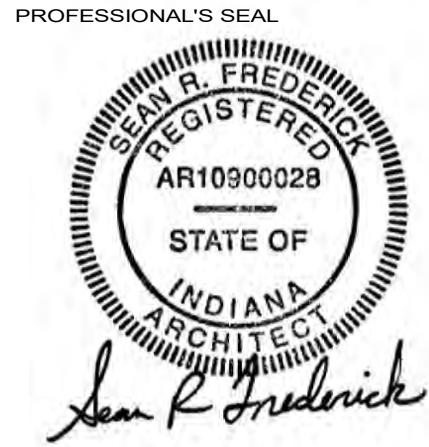
NO.	DATE	SUBMISSION

SHEET NAME

### EXTERIOR ELEVATIONS

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JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 3/16" = 1'-0"	DATE: 4-23-19
SHEET NUMBER	

A2-01



NO.	DATE	SUBMISSION

SHEET NAME

EXTERIOR  
ELEVATIONS

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 3/16" = 1'-0"	DATE: 4-23-19
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A2-02

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ELEVATION KEYNOTES

1.

4" CONCRETE RAMP WITH BROOM FINISH SLOPE 1/12 MAX
2.

PREFINISHED BLACK ALUMINUM METAL RAILING. 42" HIGH
3.

CONCRETE STAIRS/STEPS.
4.

ALUMINUM CANOPY - PREASSEMBLED INDUSTRIAL LOOK 8" FASCIA ( STEEL CHANNEL PROFILE). WITH INTEGRAL DRAINAGE TO DOWNSPOUTS AND ROUGH-IN FOR LIGHTING. SIMILAR TO "MASA ARCHITECTURAL CANOPIES"
5.

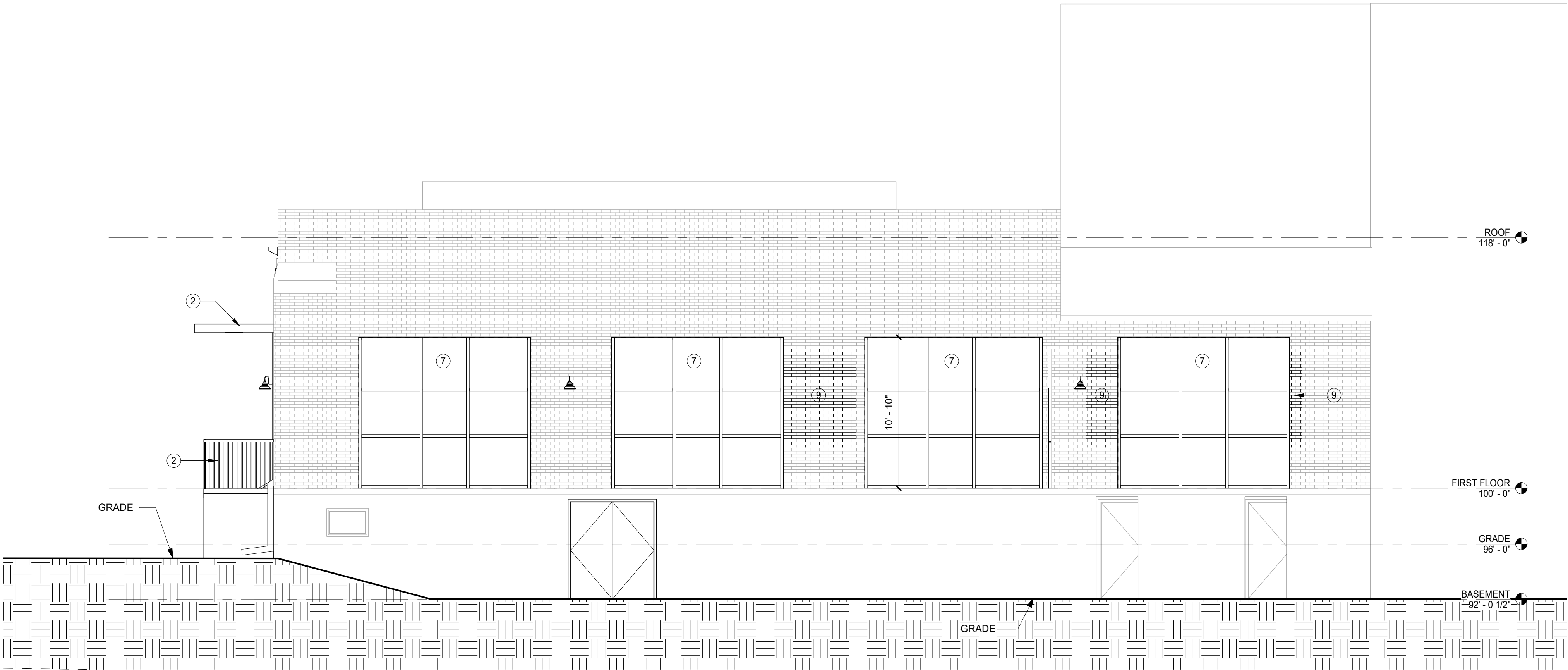
PROPOSED SIGN LIGHT
6.

PROPOSED TENATNT SIGNAGE
7.

ALUMINUM STOREFRONT GLAZING SYSTEM
8.

DOWNSPOUT LOCATION FOR CANOPY. SIZE PER CANOPY MANUFACTURER. TIE DOWNSPOUTS INTO UNDERGROUND LATERAL AND DRAIN TO DAYLIGHT.
9.

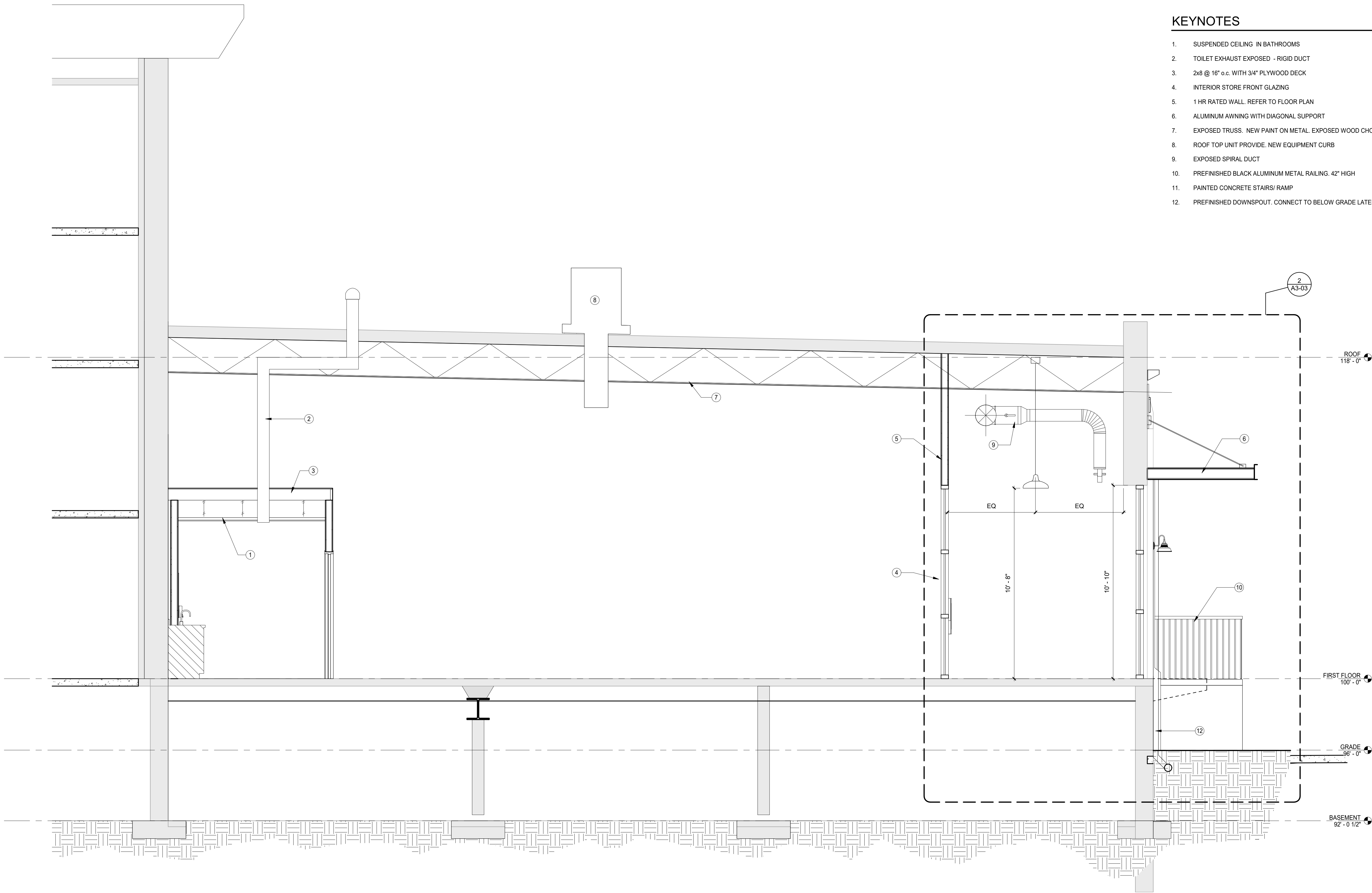
INFILL EXISTING WINDOW OPENING WITH SALVAGED BRICK



1 NORTH ELEVATION

3/16" = 1'-0"





1 BUILDING SECTION 1  
3/8" = 1'-0"

GENERAL NOTES

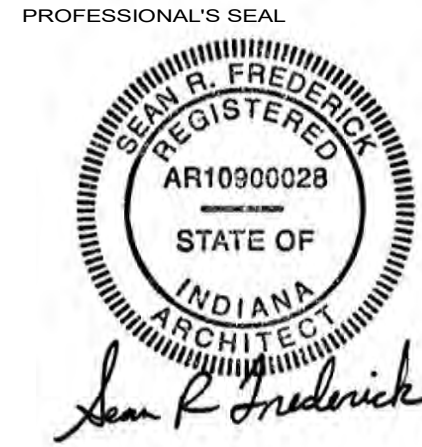
- A. REFER TO TYPICAL CASEWORK NOTES A4-001.
- B. REFER TO ELECTRICAL SHEETS FOR LIGHTING LOCATIONS, CLARIFICATIONS & DETAILS.
- C. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL FINISH INFORMATION.
- D. COORDINATE ALL ELECTRICAL ITEMS WITH ELECTRICAL CONTRACTOR PRIOR TO FABRICATION.
- E. REFER TO PLUMBING SHEETS & SPECIFICATIONS FOR PLUMBING FIXTURES.

KEYNOTES

1. SUSPENDED CEILING IN BATHROOMS
2. TOILET EX-HAUST EXPOSED - RIGID DUCT
3. 2x8 @ 16" o.c. WITH 3/4" PLYWOOD DECK
4. INTERIOR STORE FRONT GLAZING
5. 1 HR RATED WALL. REFER TO FLOOR PLAN
6. ALUMINUM AWNING WITH DIAGONAL SUPPORT
7. EXPOSED TRUSS. NEW PAINT ON METAL. EXPOSED WOOD CHORD
8. ROOF TOP UNIT PROVIDE. NEW EQUIPMENT CURB
9. EXPOSED SPIRAL DUCT
10. PREFINISHED BLACK ALUMINUM METAL RAILING. 42" HIGH
11. PAINTED CONCRETE STAIRS/ RAMP
12. PREFINISHED DOWNSPOUT. CONNECT TO BELOW GRADE LATERAL. DRAIN TO DAYLIGHT



CONSTRUCTION DOCUMENTS  
100 CENTER EAST BUILDING  
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MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION

SHEET NAME  
BUILDING  
SECTION

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A3-01

CONSTRUCTION DOCUMENTS

100 CENTER EAST BUILDING  
RENOVATION

MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION

SHEET NAME

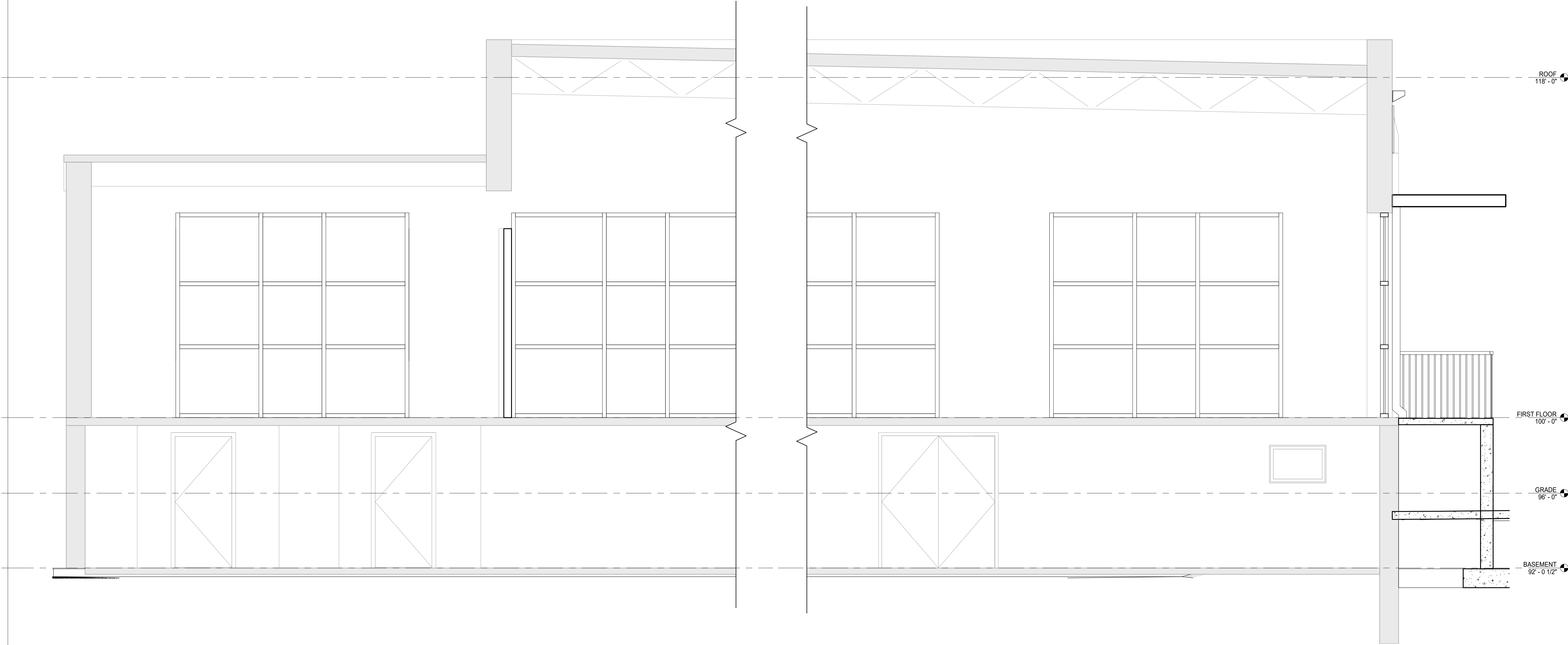
BUILDING  
SECTION

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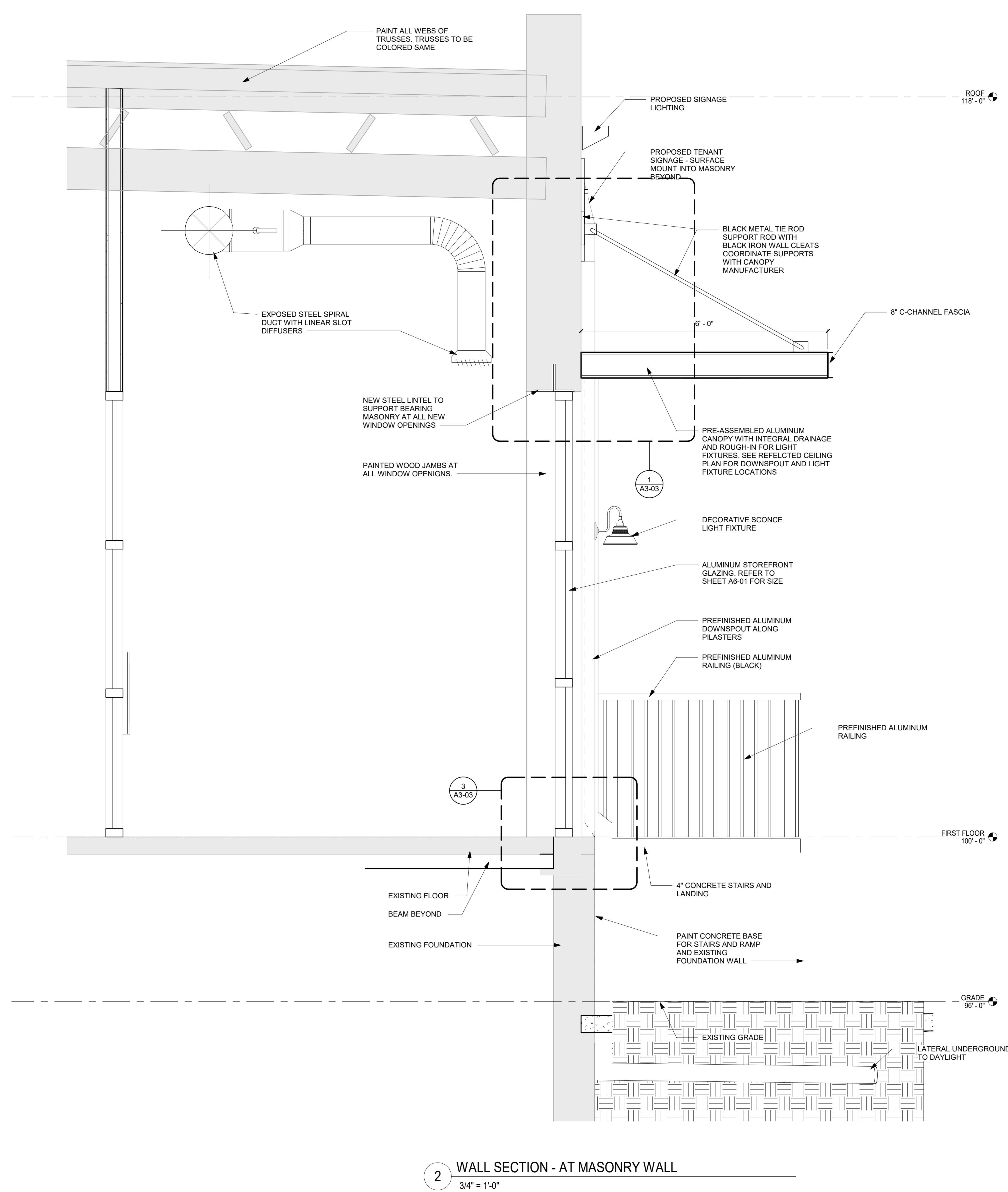
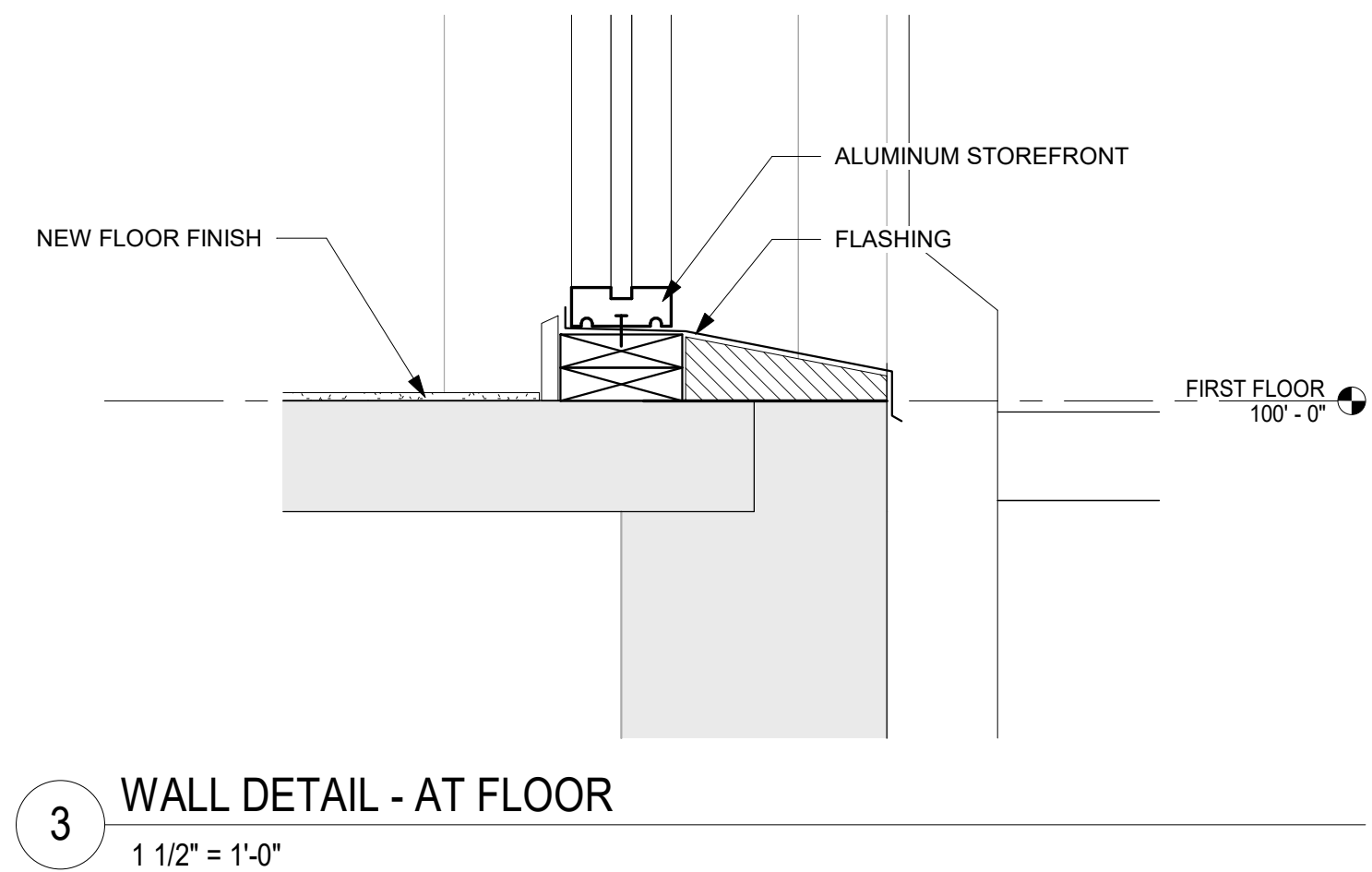
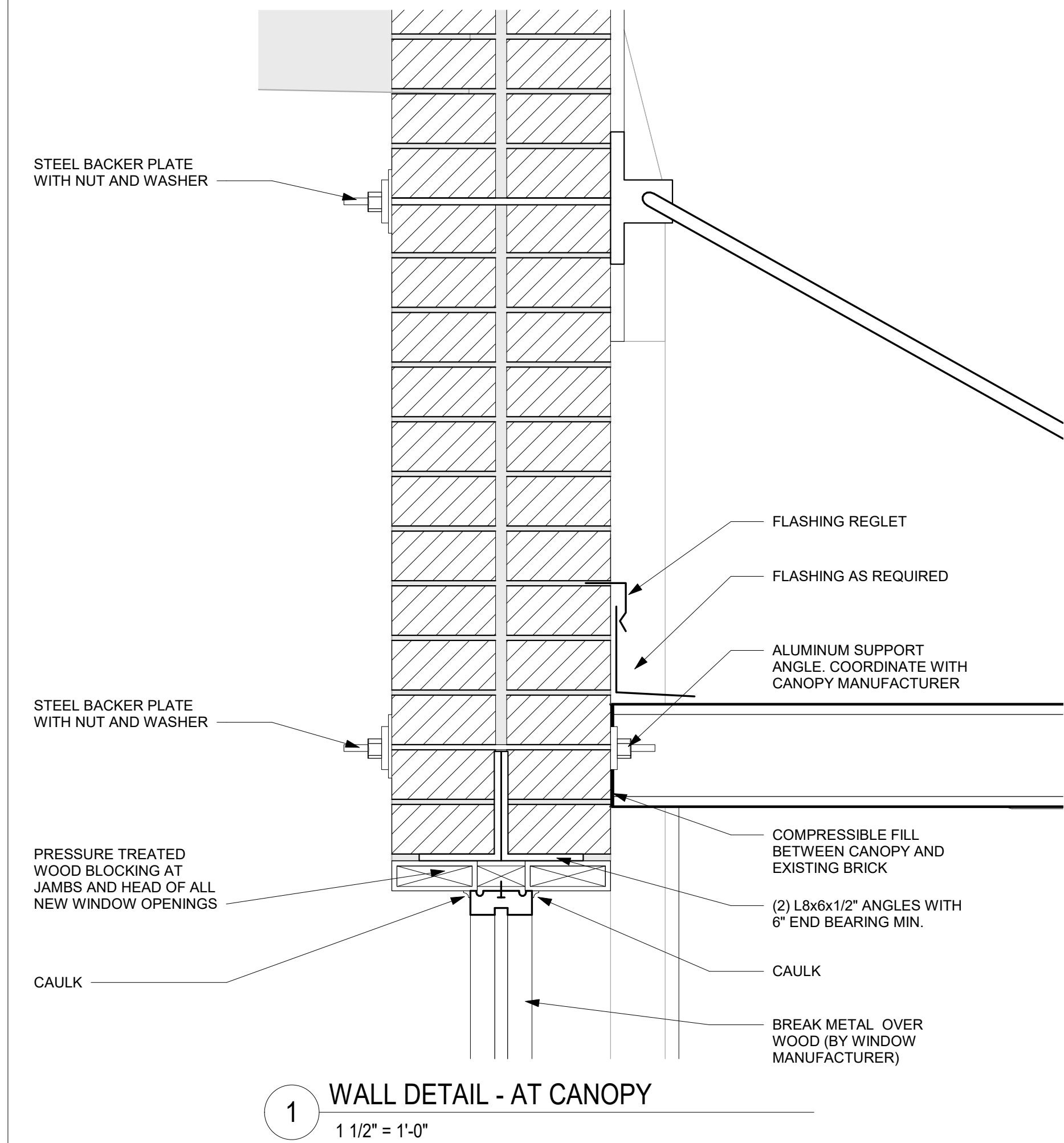


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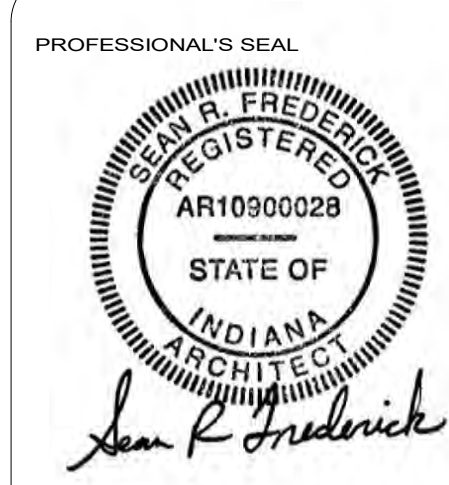
BUILDING SECTION 2

3/8" = 1'-0"





CONSTRUCTION DOCUMENTS  
**100 CENTER EAST BUILDING RENOVATION**  
MISHAWAKA, INDIANA

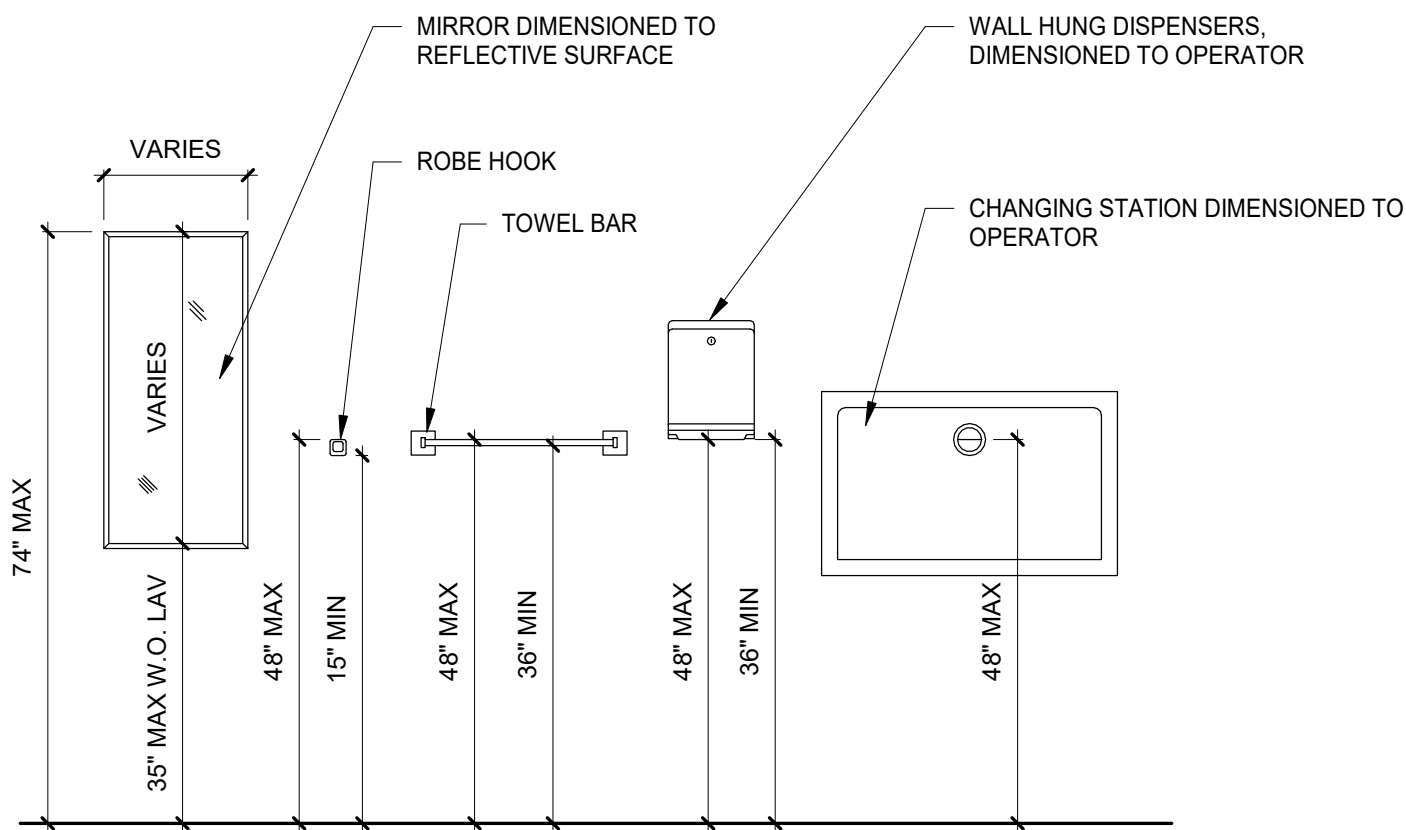


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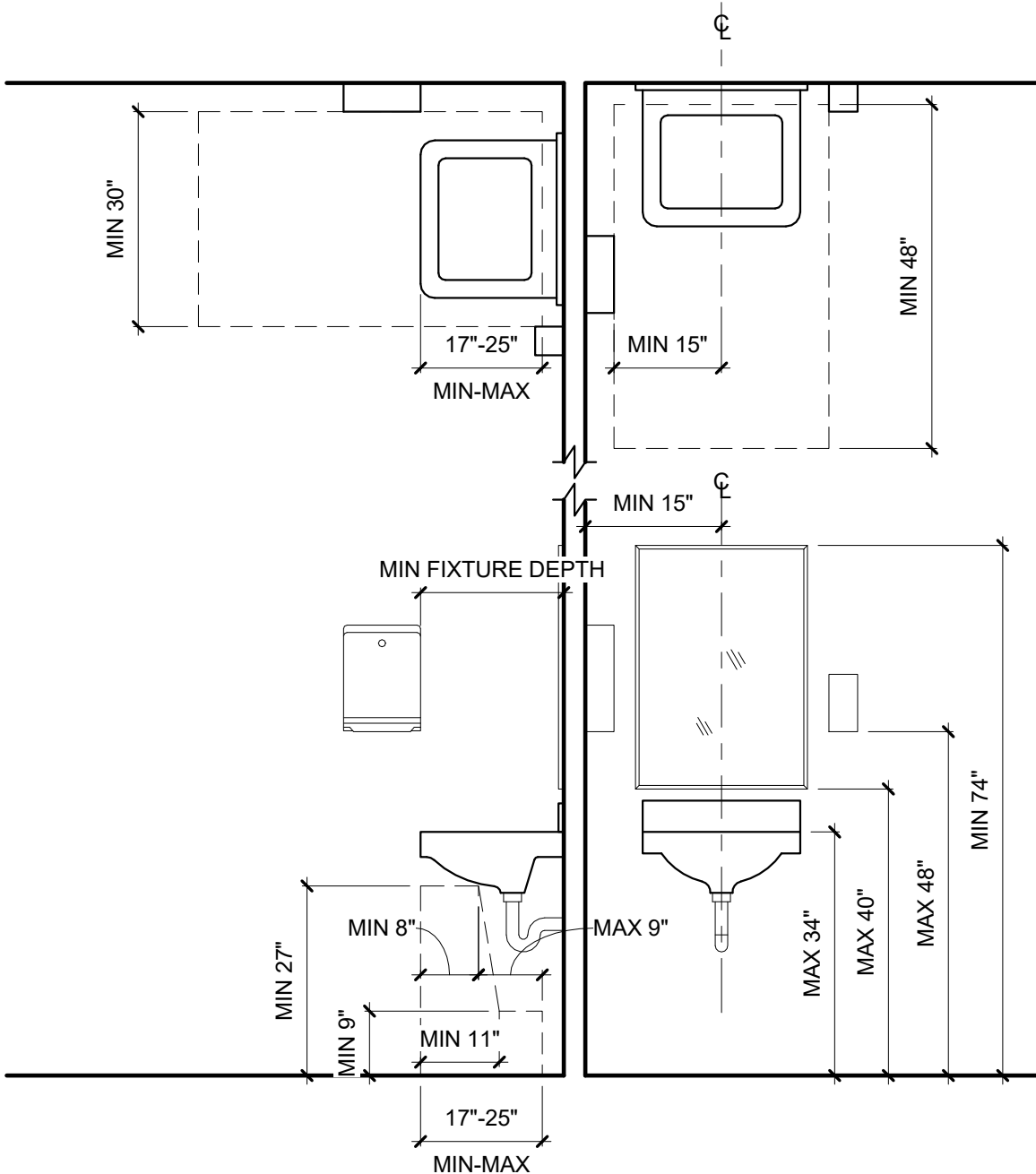
SHEET NAME  
**WALL SECTIONS**

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SHEET NUMBER	

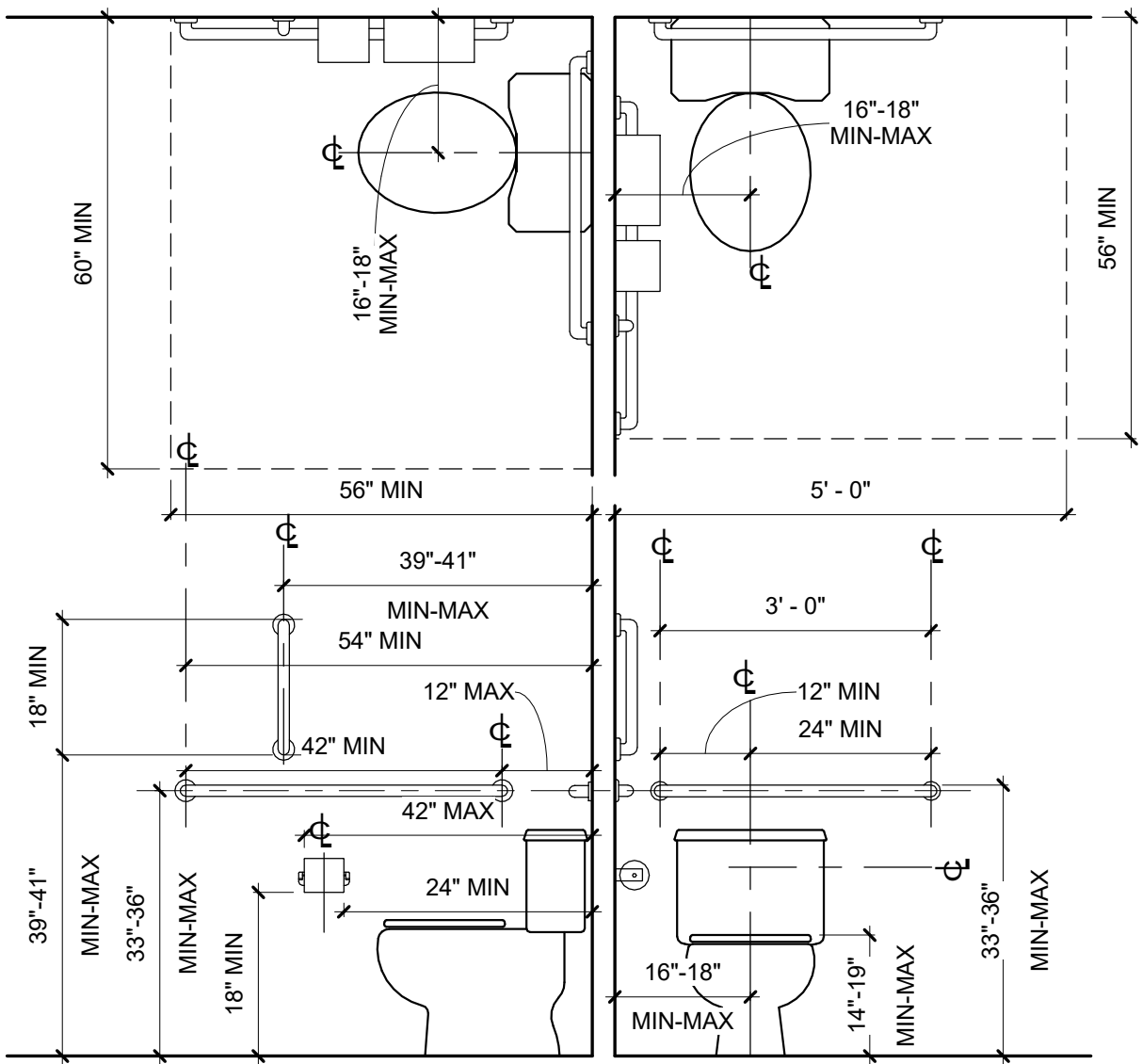
**A3-03**



1 STANDARD ACCESSORIES MOUNTING HEIGHTS  
1/2" = 1'-0"



2 STANDARD ACCESSIBLE WALL HUNG LAVATORY  
1/2" = 1'-0"



3 STANDARD ACCESSIBLE WATER CLOSET  
1/2" = 1'-0"

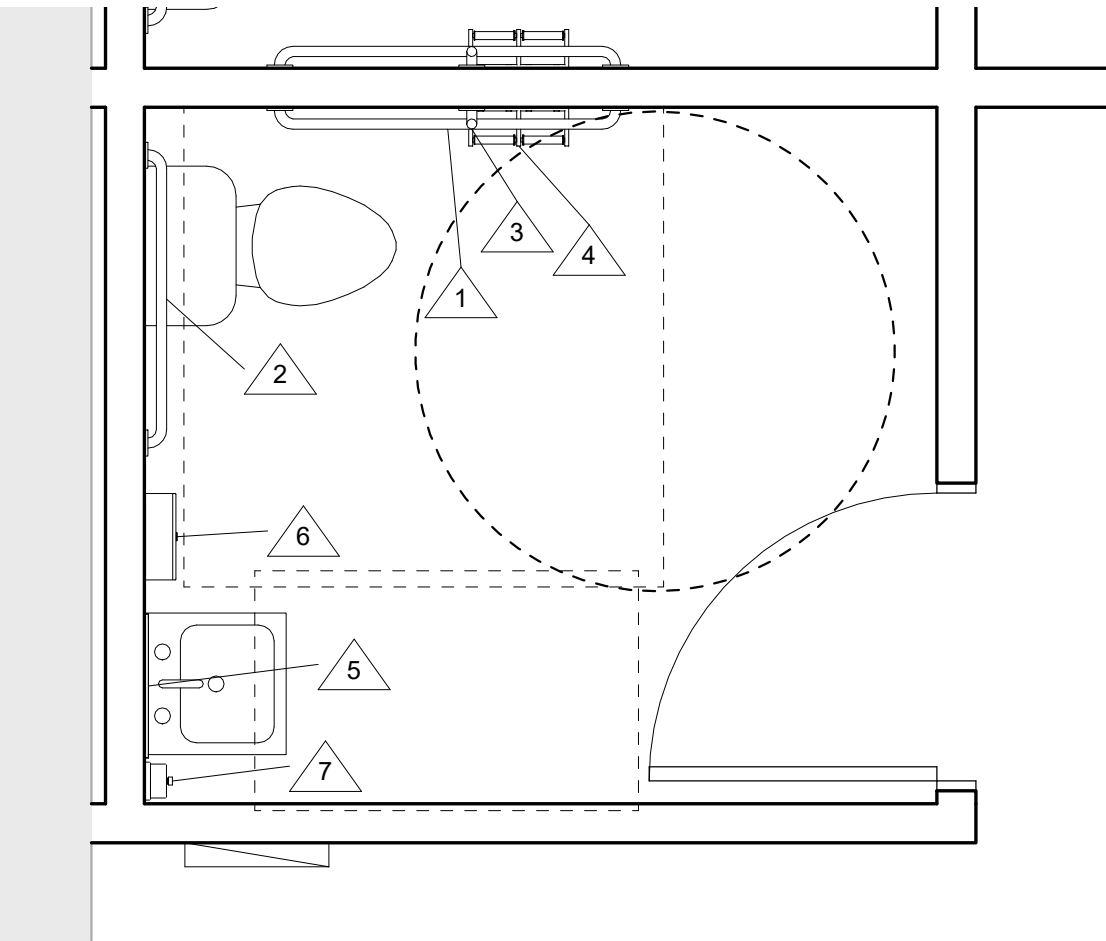
GENERAL ACCESSORY NOTES

- A. PROVIDE ALL BLOCKING NECESSARY FOR WALL MOUNTED EQUIPMENT AND ACCESSORIES INCLUDING FIRE EXTINGUISHER, TOILET ACCESSORIES, AND OWNER PROVIDED EQUIPMENT.
- B. REFER TO INTERIOR FINISH PLANS AND COLOR KEY FOR FINISH CLARIFICATIONS

NOTE:  
THE FOLLOWING ACCESSIBILITY GRAPHICS & DIMENSIONS BELOW ARE ARCHITECTURAL GUIDELINES COMPRISED OF THE ICC/ANSI A117.1-2003 & AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES JULY 23, 2004; THUS AMENDED BY INDIANA BUILDING CODE. DIMENSIONS GOVERN UNLESS NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL 2x WOOD BLOCKING FOR ALL GRAB BARS AND TOILET ACCESSORIES.

IF THERE IS A DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND ACCESSIBILITY CODES AND GUIDELINES THE CONTRACTOR MUST SUBMIT A REQUEST FOR INFORMATION (RFI) IN WRITING TO THE ARCHITECT.

TOILET FIXTURE SCHEDULE		
MARK	DESCRIPTION	REMARKS
1	42" LONG GRAB BAR	
2	36" LONG GRAB BAR	
3	18" LONG VERTICAL GRAB BAR	
4	TOILET PAPER DISPENSER	
5	18"x30" MIRROR	
6	PAPER TOWEL DISPENSER	BY TENANT
7	SOAP DISPENSER	BY TENANT



4 ENLARGED BATHROOM PLAN TYPICAL  
1/2" = 1'-0"

NO.	DATE	SUBMISSION

SHEET NAME  
ENLARGED  
RESTROOM  
PLANS

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1 INTERIOR FINISH PLAN  
1/8" = 1'-0"

### SHEET KEYNOTES

1. PROVIDE CORNER GUARD (CG-1)
2. CEILING TO BE PAINTED CEILING WHITE, FLAT FINISH.
3. PROVIDE 6" RUB RAIL (CR-1) ON ALL WALLS. MOUNTING HEIGHT TO BE CONFIRMED ON SITE IN COORDINATION WITH EQUIPMENT AND FURNITURE SELECTION.
4. PROVIDE WALL PROTECTION (WP-1) ON ALL WALLS UP TO 48" AFF W/ ALL EDGE PROFILES
5. TRANSITION FLOORING DIRECTION AT THIS LOCATION AND AT ALL DOORWAYS TO EXAM ROOMS, RESTROOMS, LABS, ETC WHERE SIMILAR FLOOR FINISH IS NOTED. REFER TO DIRECTIONAL ARROWS ON PLANS.

### GENERAL NOTES

- NOTES PERTAIN TO AREAS WITHIN THIS SCOPE OF WORK ONLY. REFER TO KEYPLAN FOR LIMITS OF WORK.
- ALL DIRECTIONAL NOTES REFER TO PLAN NORTH.
- CONTRACTOR SHALL COMPLY WITH ALL MANUFACTURER'S INSTALLATION METHODS AND SHALL NOT EXECUTE WORK WITHOUT VERIFICATION OF FIELD CONDITIONS.
- REFERENCE ROOM FINISH PLAN & SPECIFICATIONS FOR MATERIAL TYPE AND ADDITIONAL INFORMATION.
- PROVIDE THE FOLLOWING SUBMITTALS REQUESTED TO VERIFY COMPLIANCE WITH PROJECT REQUIREMENTS:
  - FLOORING: SUBMIT (2) SAMPLES ILLUSTRATING COLOR AND PATTERN FOR EACH CARPET, LVT AND TILE.
  - PAINT: SUBMIT (2) SAMPLES ILLUSTRATING EACH PAINT COLOR SCHEDULED.
- SWITCHPLATES, SWITCHES, OUTLETS, VOICE/DATA OUTLETS AND OUTLET COVERPLATES TO BE WHITE. IF SWITCHES ARE ALREADY IN PLACE IN ANOTHER COLOR, SWITCHPLATES & COVERPLATES TO MATCH THAT COLOR.
- LOOSE FURNITURE AND OTHER LOOSE EQUIPMENT ITEMS INDICATED ON DRAWINGS ARE OWNER PROVIDED. NOT IN CONTRACT (NIC) UNLESS NOTED OTHERWISE.

#### FLOOR FINISH NOTES

- TRANSITIONS BETWEEN DIFFERENT FLOORING MATERIALS SHALL OCCUR UNDER DOORS WHERE APPLICABLE.
- PROVIDE APPROPRIATE TRANSITION STRIPS AT ALL CHANGES IN FLOORING TYPE WHERE THEY ARE REQUIRED.
  - CARPET TO LUXURY VINYL TILE: JOHNSONITE SLIMLINE TRANSITIONS. COLOR TO MATCH RB-1 COLOR.

#### BASE FINISH NOTES

- ALL BASES TO BE 4" COVE BASE.
- ADHERE BASE TIGHT TO WALL AND FLOOR FINISHES.
- DO NOT INSTALL ANY SECTION OF RUBBER BASE SMALLER THAN 12 INCHES AT ALL POSSIBLE.

#### WALL/DOOR FINISH NOTES

- ALL INTERIOR WALLS TO BE PAINTED (P - 1) UNLESS NOTED OTHERWISE ON THE FLOOR FINISH PLAN.
- INTERIOR SURFACES TO BE PAINTED:
  - GYPSUM BOARD:
    - ONE COAT OF ALKYD PRIMER SEALER
    - TWO COATS OF ACRYLIC LATEX ENAMEL
    - EGGSHELL FINISH IN ALL AREAS
    - SUPERPAINT BY SHERWIN WILLIAMS
  - STEEL PRIMED:
    - TOUCH UP WITH PRIMER
    - TWO COATS OF ALKYD ENAMEL
    - SEMI-GLOSS FINISH
    - BY SHERWIN WILLIAMS
- PROVIDE A LEVEL 4 FINISH LEVEL FOR GYPSUM BOARD WALLS.
- PAINT ALL HOLLOW METAL DOOR FRAMES, METAL DOORS AND SIDELIGHT FRAMES (P-1) WITH SEMI-GLOSS FINISH U.N.O.
- CONFIRM ALL ACCENT PAINT LOCATIONS WITH ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- PAINT MECHANICAL GRILLS, WALL DIFFUSERS, ELECTRICAL PANELS, WALL MOUNTED BOXES, ACCESS PANELS, ETC. WHICH ARE EXPOSED IN FINISH SPACES TO MATCH THE SURFACE ON WHICH THEY OCCUR. IF THE ITEM IS ON A WALL WITH WALL COVERING, CONTACT ARCHITECT/DESIGNER FOR PAINT SELECTION.
- PROVIDE CORNER GUARDS (CG-1) AT ALL OUTSIDE CORNERS THROUGHOUT CORRIDORS AND IN ROOMS AS NOTED ON FINISH PLAN.

#### CEILING FINISH NOTES

- PROVIDE A LEVEL 4 FINISH LEVEL FOR GYPSUM BOARD CEILINGS
- REFERENCE REFLECTED CEILING PLAN FOR CEILING HEIGHTS, EXTENT OF BULKHEADS AND ANY SPECIAL PAINT COLOR DESIGNATIONS.
- UNDERSIDE OF SOFFITS TO BE PAINTED SAME AS FACE OF SOFFIT UNLESS NOTED OTHERWISE.

#### MILLWORK FINISH NOTES

- ALL CABINTRY TO BE IN ACCORDANCE AWWI STANDARDS
- PROVIDE FRAMED CABINTRY WITH PARTIAL OVERLAY DOORS IN A FLUSH STYLE DOOR.
- ALL CABINETS TO HAVE FULLY ADJUSTABLE SHELVES. PROVIDE (1) SHELF IN BASE CABINETS AND (2) SHELVES IN UPPER CABINETS.
- PROVIDE WHITE MELAMINE FOR INTERIOR OF CABINETS.
- CABINTRY HARDWARE:
  - HINGES: CONCEALED FULLY ADJUSTABLE HINGES, NICKEL FINISH
  - PULLS: TO BE RICHELIEU 9898 FINISH TO BE SELECTED
  - DRAWER SLIDES: HEAVY DUTY BALL-BEARING STYLE, SELF CLOSING SLIDES
- PROVIDE RESILIENT COVE BASE AT FIXED CASEWORK AND SUPPORTS UNLESS NOTED OTHERWISE.
- AT SOLID SURFACE COUNTERTOPS, PROVIDE 4" SIDE AND BACKSPLASH. ALL EXPOSED EDGES ARE TO BE BULLNOSE. PROVIDE SURFACES WITH A UNIFORM MATTE FINISH. UNLESS NOTED OTHERWISE.
- AT PLASTIC LAMINATE COUNTERTOPS, PROVIDE 4" SIDE AND BACKSPLASH WITH FLAT FRONT EDGE AND ROUNDED EDGES AT ANY EXTERNAL CORNERS. UNLESS NOTED OTHERWISE.

#### WINDOW TREATMENT NOTES

PROVIDE MANUALLY OPERATED FABRIC ROLLER SHADES SIMILAR TO MECHOSHADE AT ALL EXTERIOR WINDOWS WITH 3% OPENNESS FACTOR. COLOR TO BE SILVER BIRCH



CONSTRUCTION DOCUMENTS  
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PROFESSIONAL'S SEAL



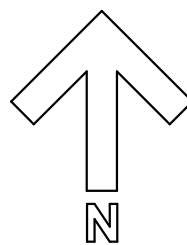
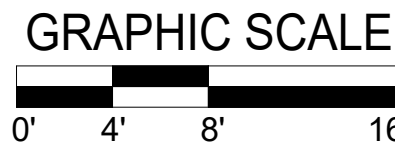
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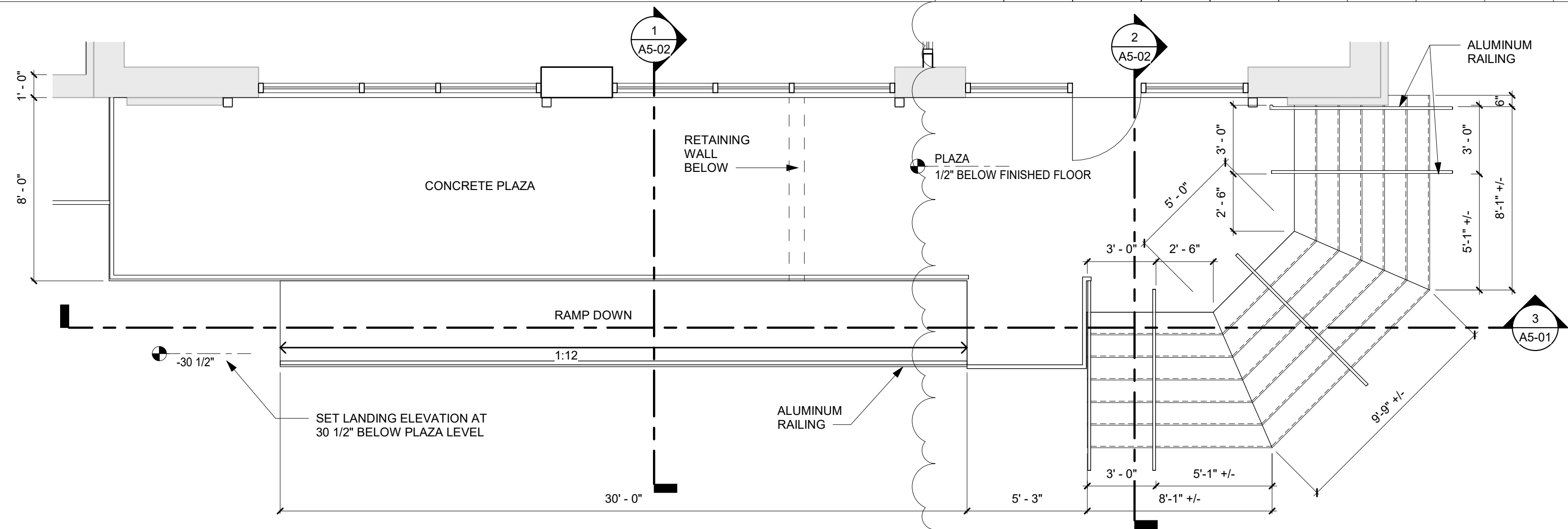
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INTERIOR FINISH  
PLAN

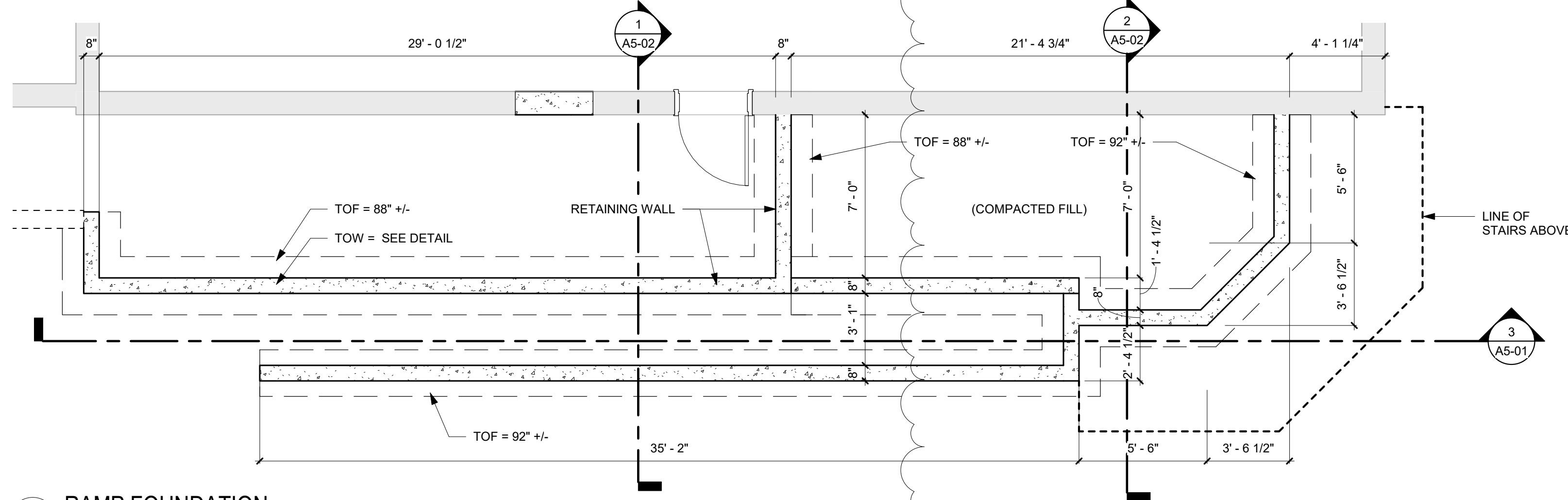
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SHEET NUMBER	

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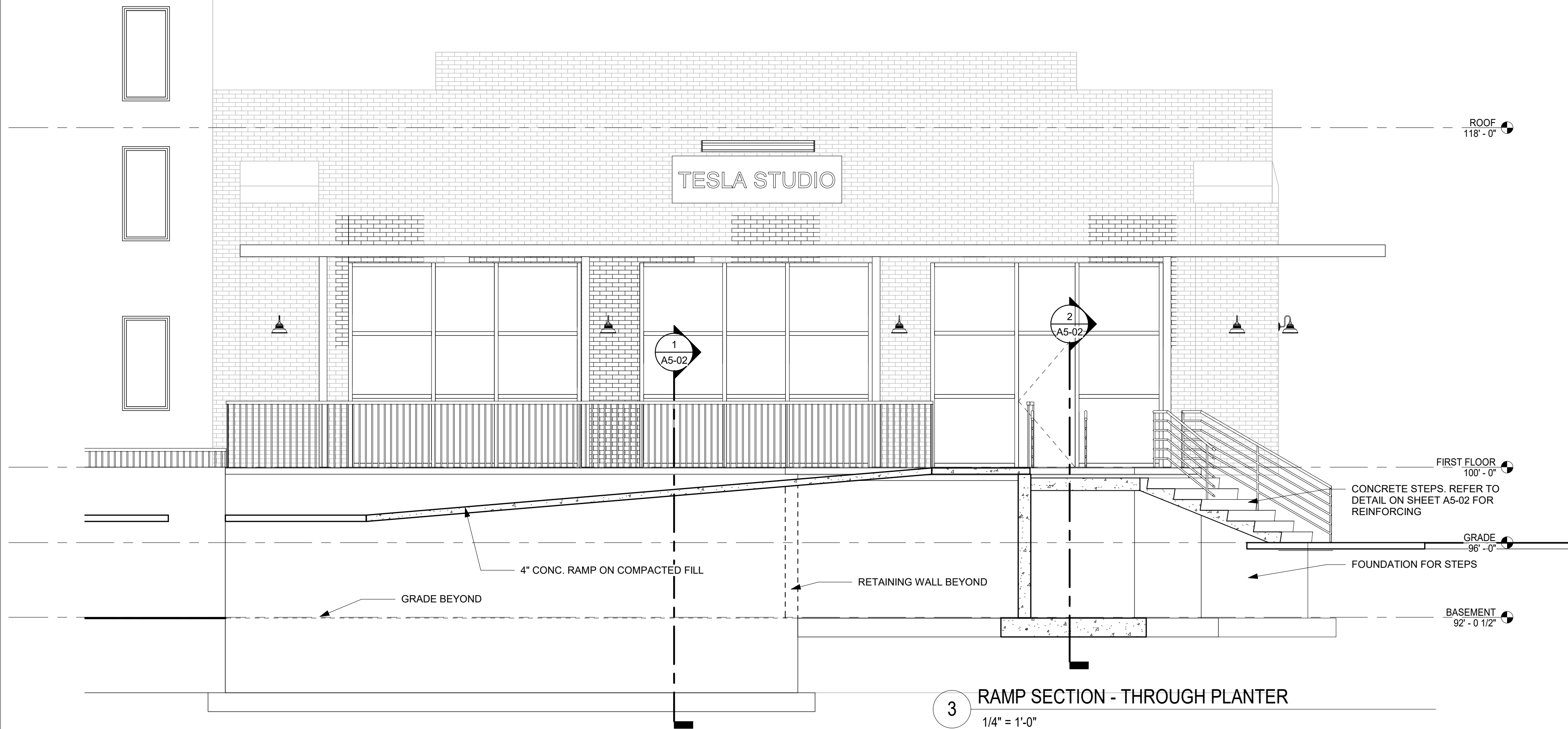




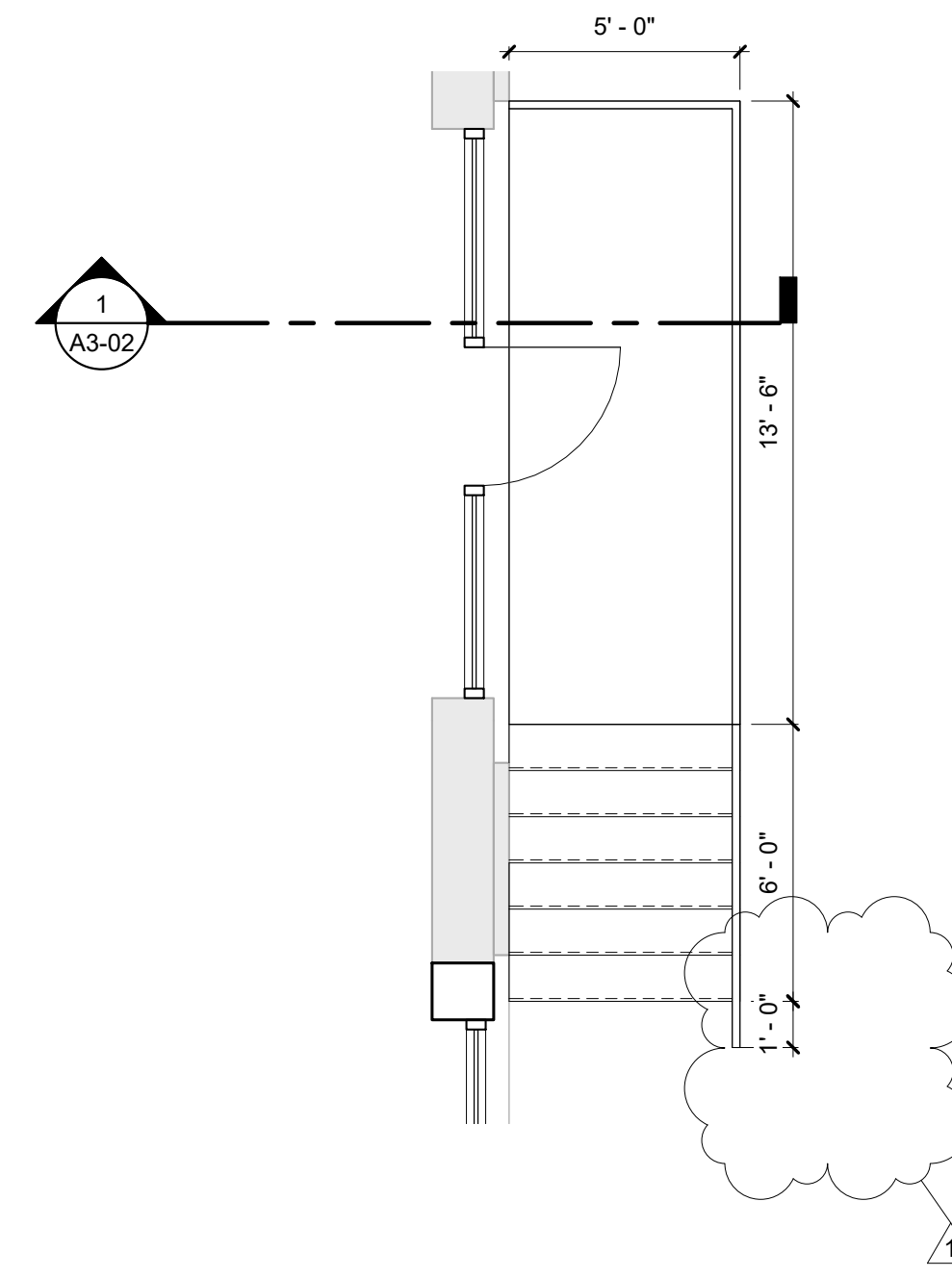
1 ENLARGE RAMP PLAN  
1/4" = 1'-0"



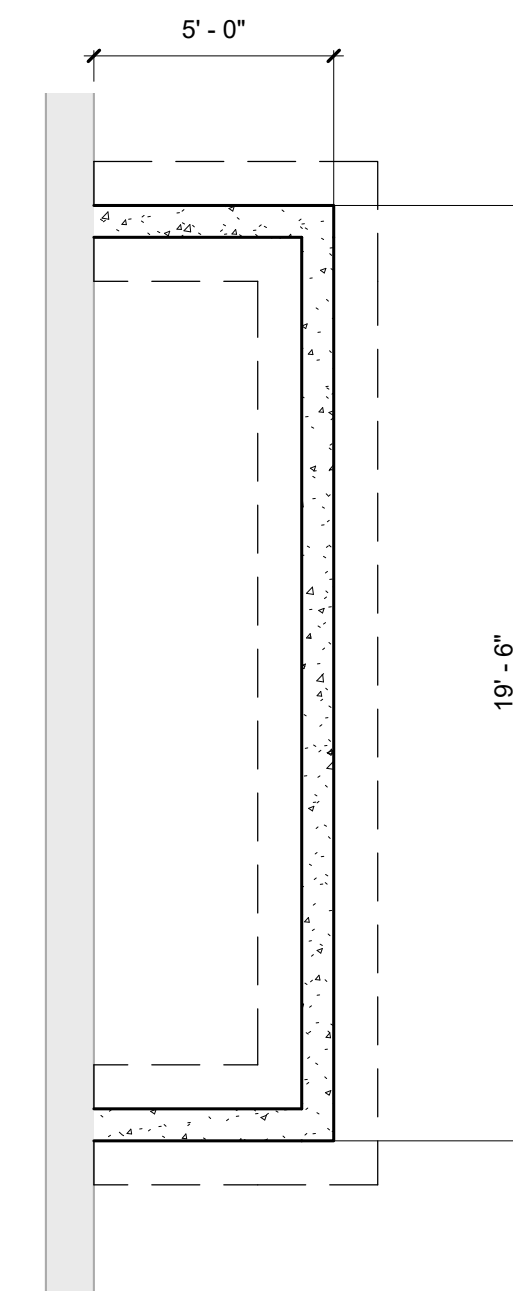
2 RAMP FOUNDATION  
1/4" = 1'-0"



3 RAMP SECTION - THROUGH PLANTER  
1/4" = 1'-0"



4 ENLARGED STAIR PLAN  
1/4" = 1'-0"



5 STAIR FOUNDATION  
1/4" = 1'-0"

NO.	DATE	SUBMISSION
1	4-8-19	UPDATED STAIRS

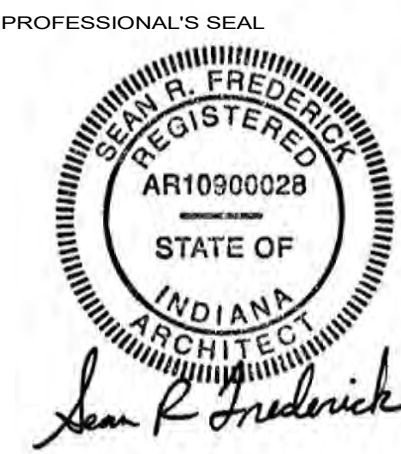
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ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 1/4" = 1'-0"	DATE: 4-23-19
SHEET NUMBER	

**A5-01**



CONSTRUCTION DOCUMENTS  
**100 CENTER EAST BUILDING  
RENOVATION**  
MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION
1	4-8-19	UPDATED STAIRS

SHEET NAME

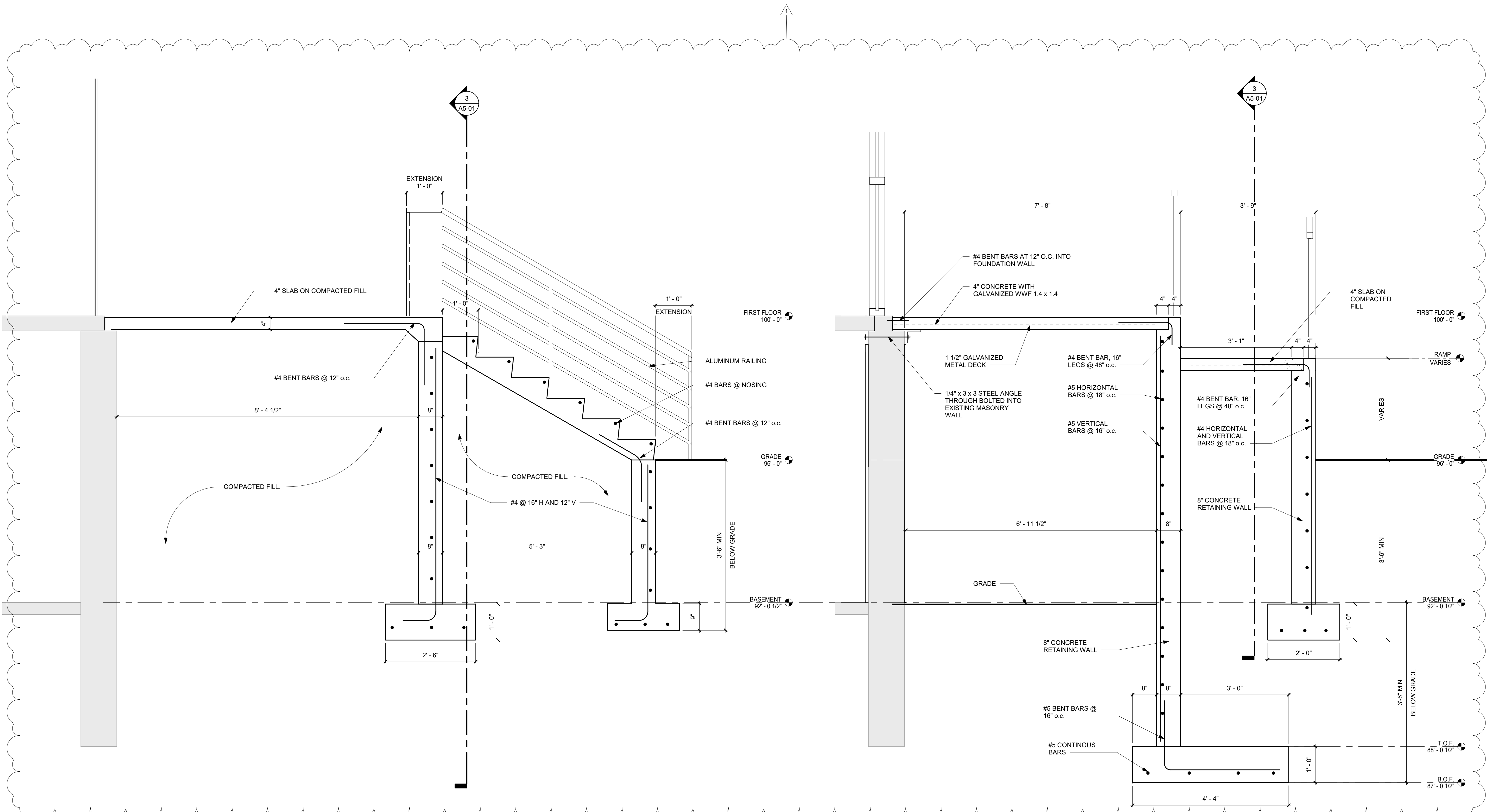
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JOB NO. 18074-00	CHECKED BY: Checker
SCALE: 3/4" = 1'-0"	DATE: 4-23-19

SHEET NUMBER

**A5-02**

4/25/2019 12:12:41 PM



**2** SECTION - STAIRS TO BASEMENT  
3/4" = 1'-0"

**1** RAMP SECTION - THROUGH STAIRS  
3/4" = 1'-0"

DOOR AND HARDWARE SCHEDULE																																	
MARK	PAIR	DOOR								FRAME			FIRE RTG	HARDWARE										PIVOTS	HARDWARE							COMMENTS	
		SIZE	THICKNESS	TYPE	MATERIAL	FINISH	GLAZING				LOOKSET	BY OWNER			CLOSER				WALL STOP	FLOOR STOP	HINGE STOP	CLOSER				FLUSH BOLTS	SMOKE SEAL						
							FIRE GLASS	WIRE	TEMPERED GLASS	INSULATED		TINTED		TYPE	MATERIAL	FINISH	CARD SWIPE	ELEC STRIKE				LEVER HANDLE	PANIC DEVICE		PUSH PULL			HINGES (PAIRS)	NO HO	HOLD OPEN	ELEC. MAGN		AUTOMATIC
100.A		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X		X												
100.B		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X		X												
101		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X		X												
102.A		3'-0" X 6'-11 3/4"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X		X												EXIT ONLY DOOR
102.B		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X		X												
102C		3'-0" X 7'-0"	0'-1 3/4"	F	WD	PT					HM	PT		PRIVACY				X			X												
103		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X	X		X											
103B		3'-0" X 7'-0"	0'-1 3/4"	F	WD	PT					HM	PT		PRIVACY				X			X	X											
104		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X	X		X											
104B		3'-0" X 7'-0"	0'-1 3/4"	F	WD	PT					HM	PT		PRIVACY				X			X	X											
105		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X	X		X											
105B		3'-0" X 7'-0"	0'-1 3/4"	F	WD	PT					HM	PT		PRIVACY				X			X												
106		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X	X		X											
106.A		3'-0" X 7'-0"	0'-1 3/4"	FG	AL	AN					AL	AN		CYLINDER				X	X	X		X											
106.C		3'-0" X 7'-0"	0'-1 3/4"	F	WD	PT					HM	PT		PRIVACY				X			X												

DOOR NOTES

ALL DOOR & FRAME INSTALLATIONS SHALL BE PER ACCEPTED INDUSTRY STANDARDS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE.

ALL SWING DOORS SHALL BE OPERABLE WITH LESS THAN 5 LBS FORCE PER CODE, ADA, & ANSI REQUIREMENTS.

FRAME SIZES TO BE COORDINATED WITH WALL SIZE FOR TYPICAL GYPSUM BOARD RETURN.

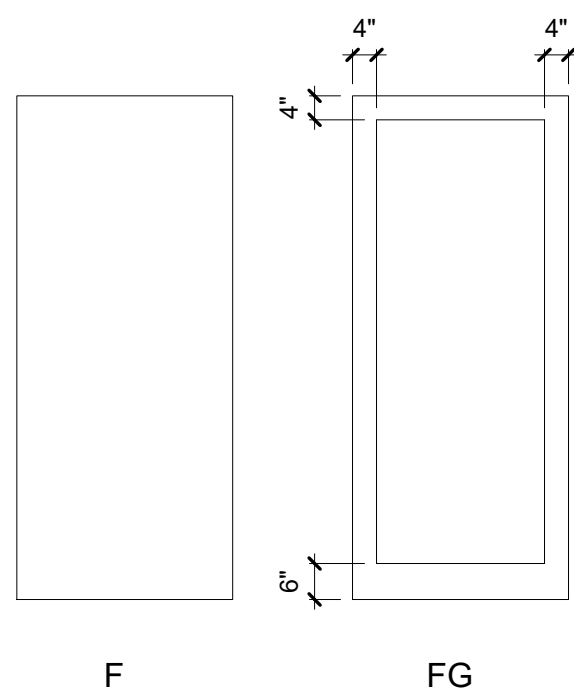
ALL HOLLOW METAL FRAMES TO BE PAINTED, ONE (1) COAT PRIME, TWO (2) COATS FINISH, UNLESS NOTED OTHERWISE.

DOOR, FRAME, HARDWARE

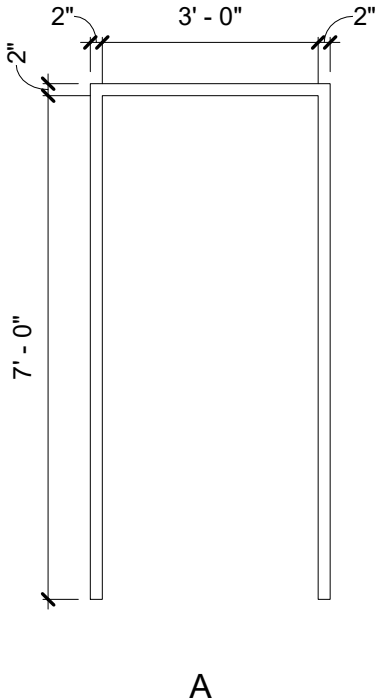
- ALL HM FRAMES SHALL BE KNOCKED DOWN. COORDINATE DEPTH WITH WALL TYPES
- ALL EXTERIOR ALLUMINUM STOREFRONT FRAMES SHALL BE THERMALLY BROKEN FRAMES
- ALL GLASS IN DOORS WITHIN 18" OFF FLOOR SHALL BE TEMPERED GLASS
- WOOD BATHROOM DOORS CAN BE HALLOW CORE PREHUNG DOORS IF OWNER CHOOSES

DOOR SCHEDULE ABBREVIATIONS

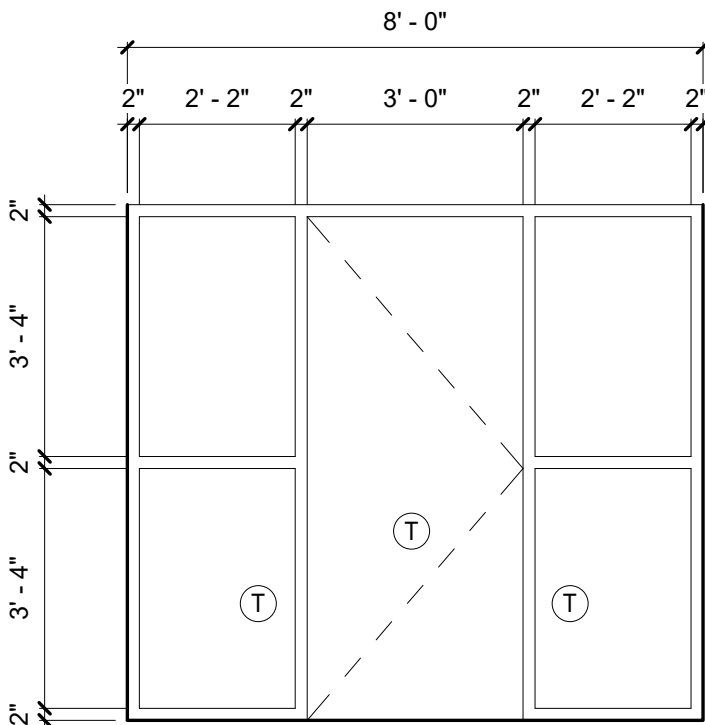
F FLUSH  
FF FACTORY FINISH  
WD WOOD  
HM HOLLOW METAL  
P PAINT  
FG FULL GLASS  
AN ANNODIZED



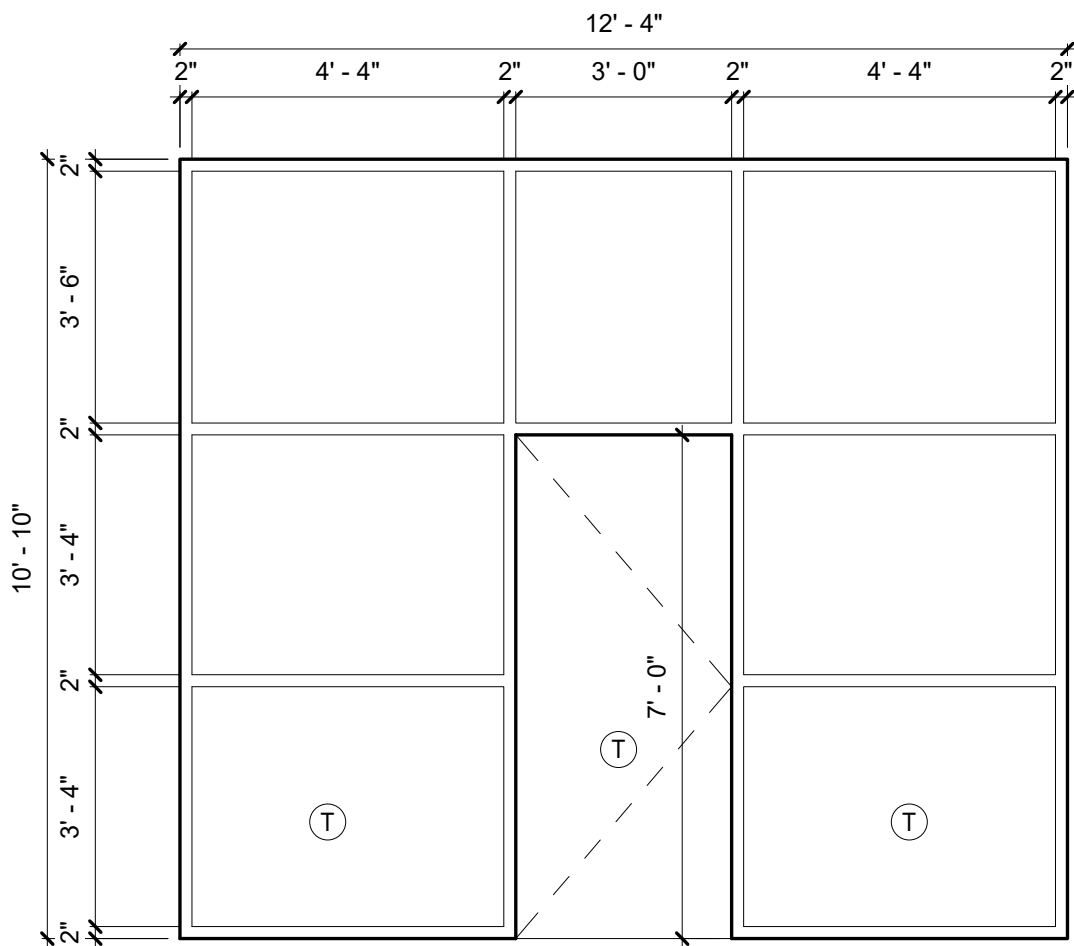
DOOR ELEVATIONS



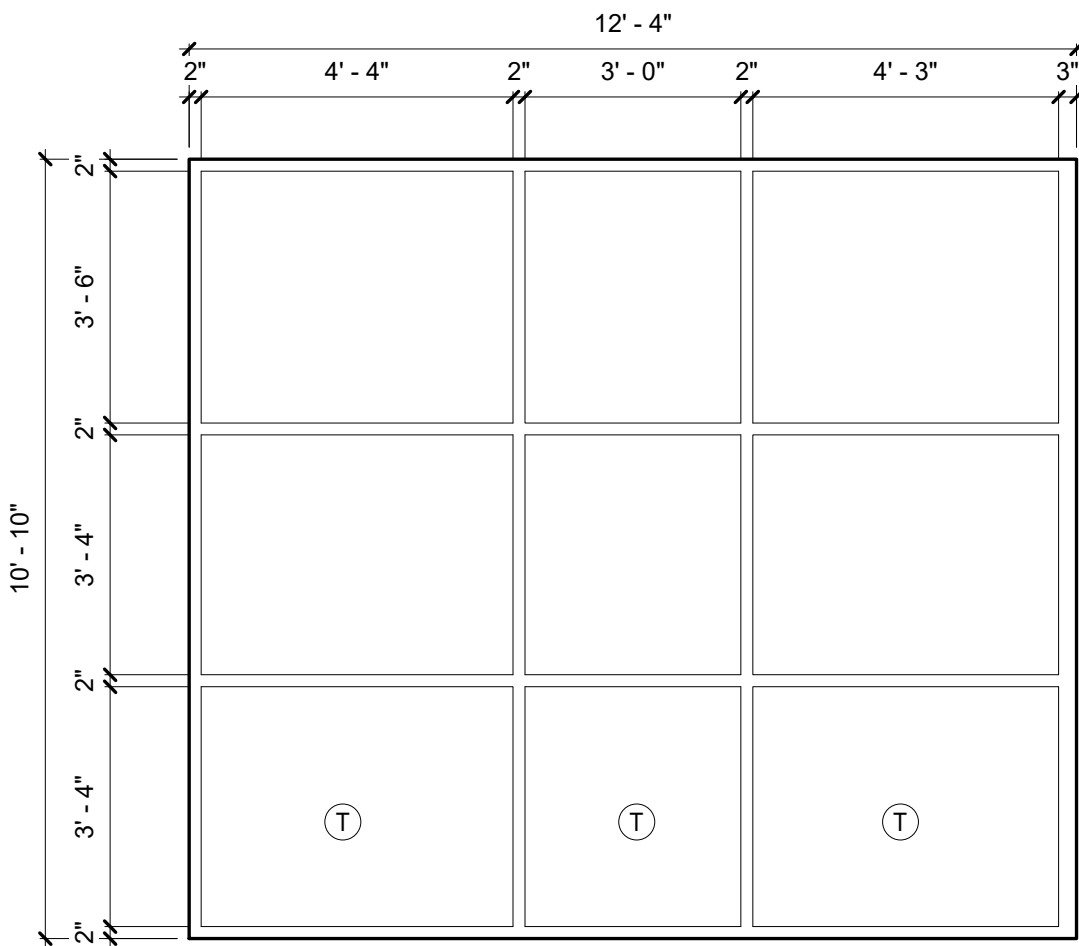
FRAME ELEVATIONS



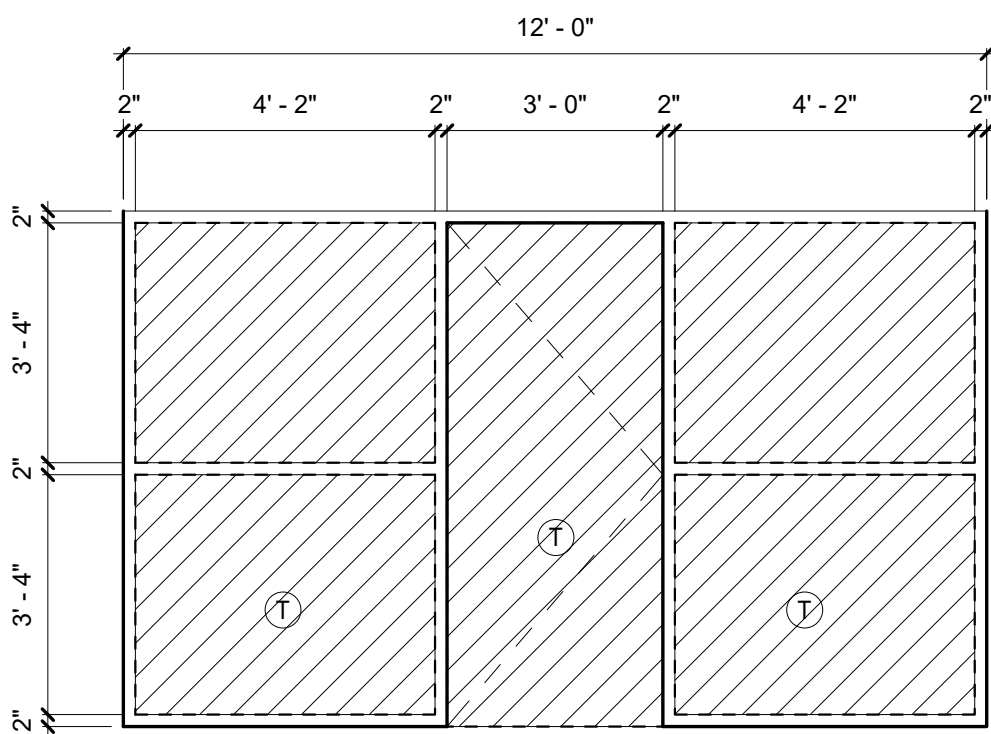
D.2



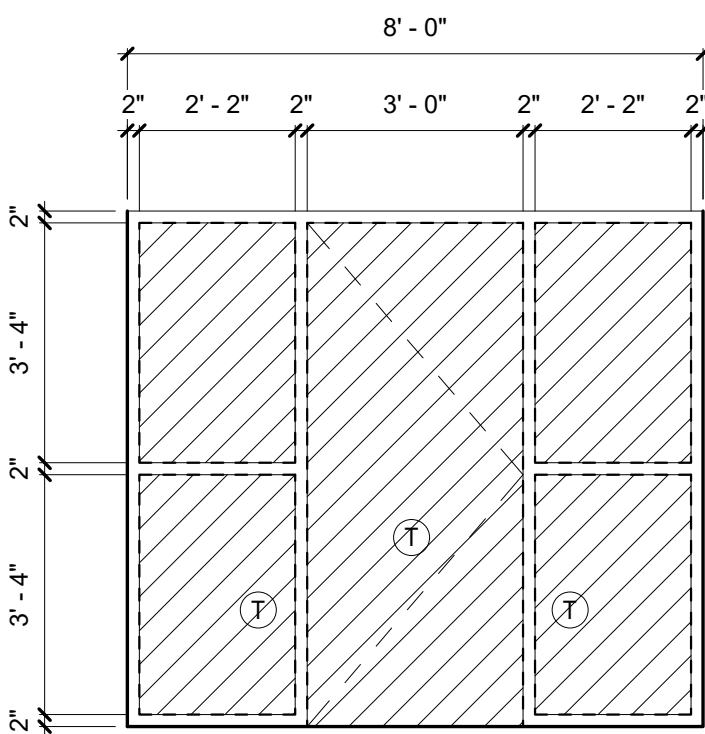
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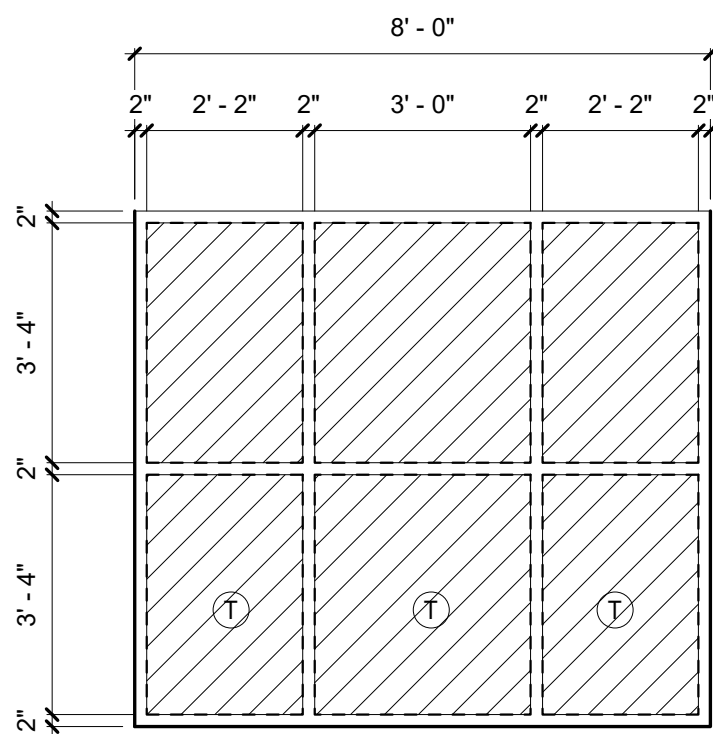
B



C



D.1



E

GLAZING FOR CORRIDOR WINDOWS ARE REQUIRED TO BE 45 MIN FIRE RATED GLASS AND FRAME.

WINDOW ELEVATIONS

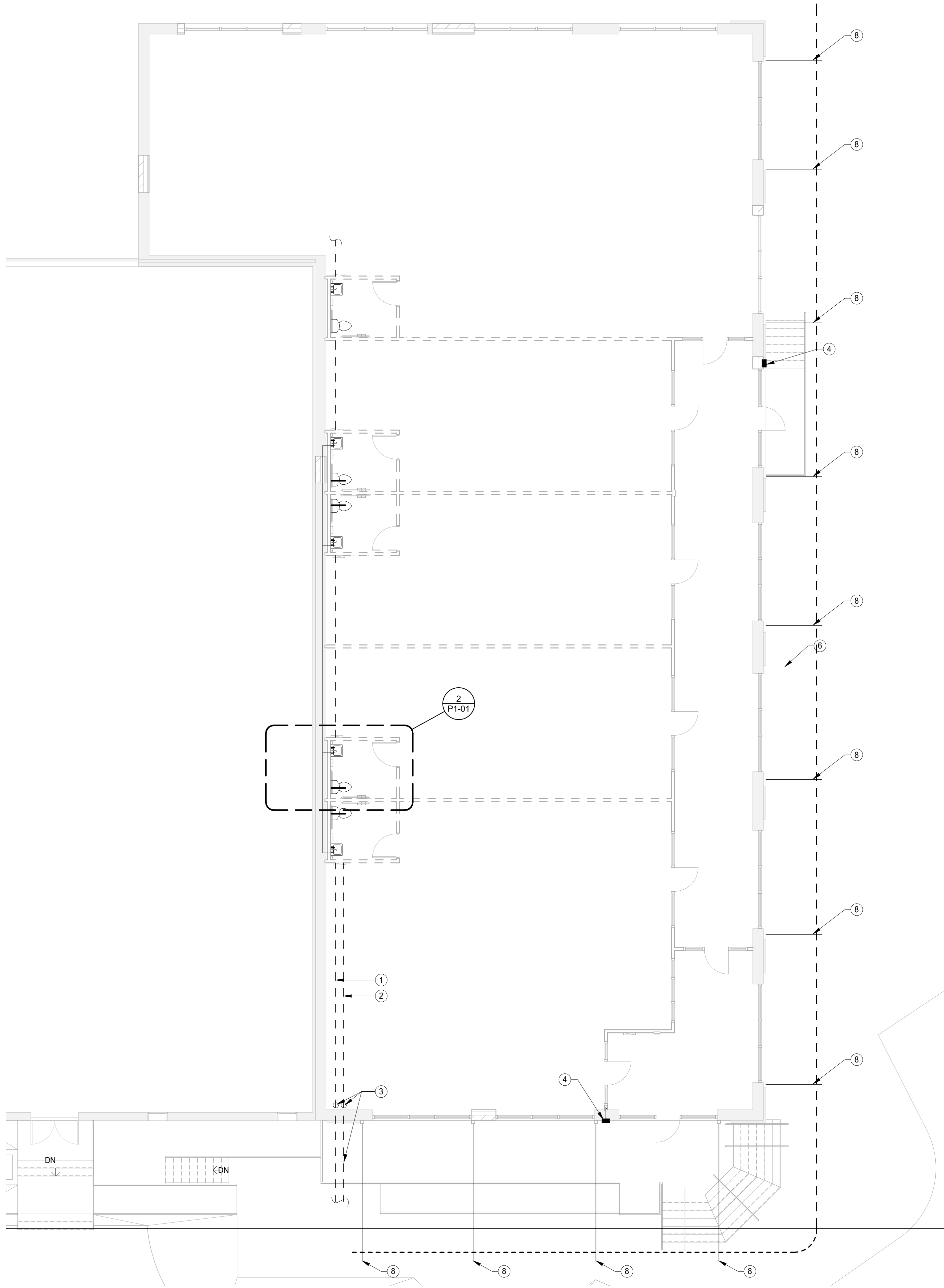
PERMIT SET FOR  
100 CENTER EAST BUILDING  
RENOVATION  
MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION
2	4-23-19	CODE ISSUES

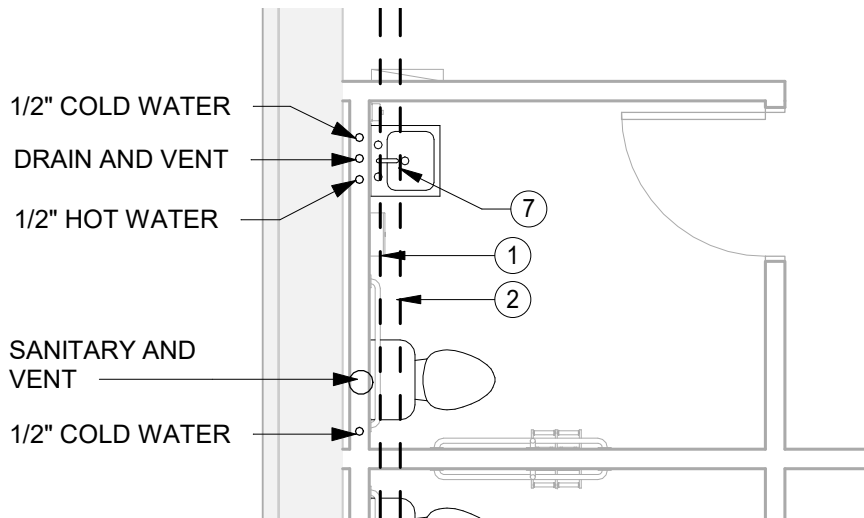
SHEET NAME	
DOOR AND HARDWARE SCHEDULE	
ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 3/8" = 1'-0"	DATE: 4-23-19
SHEET NUMBER	
A6-01	





1 PLUMBING PLAN  
1/8" = 1'-0"

3 PLUMBING ISO  
1/4" = 1'-0"



2 PLUMBING PLAN -TYP.  
1/4" = 1'-0"

GENERAL PLUMBING NOTES

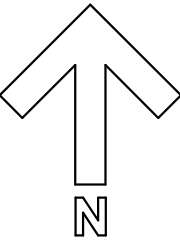
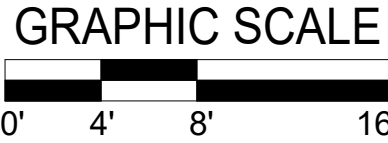
- A. THE PLUMBING SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH INDIANA PLUMBING CODES AND ALL LOCAL CODES AND ORDINANCES.
- B. DRAWINGS ARE DIAGRAMMATIC. INDICATED POSITIONS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE. EXACT EQUIPMENT LOCATIONS AND PIPING ROUTING SHALL BE SUBJECT TO BUILDING CONSTRUCTION AND INTERFERENCE'S WITH OTHER TRADES
- C. ALTHOUGH ATTEMPTS HAVE BEEN MADE TO IDENTIFY EXISTING EQUIPMENT LOCATIONS, PIPE ROUTING AND SIZES WITH THE USE OF EXISTING DRAWINGS AND FIELD OBSERVATIONS, PC SHALL FIELD VERIFY ALL EXISTING INFORMATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER. NOTE ALL DISCREPANCIES ON THE AS-BUILT DRAWINGS.
- D. COORDINATE ALL WORK WITH THE PHASING OF THE PROJECT. SOME SERVICES MUST REMAIN ACTIVE TO SERVE OCCUPIED SPACES DURING CONSTRUCTION. SCHEDULE ALL SERVICE SHUTDOWNS WITH OWNER AND/OR CONSTRUCTION MANAGER.
- E. UNLESS NOTED OTHERWISE ALL SERVICES INDICATED AS BEING REMOVED SHALL BE REMOVED BACK TO THE MAIN AND CAPPED. IDENTIFY ALL CAPPED SERVICES. DEAD-END PIPING IS NOT PERMITTED. REMOVE ALL PREVIOUSLY ABANDONED PIPING, SUPPORT, ETC ENCOUNTERED ABOVE CEILINGS.
- F. THE OWNER SHALL HAVE THE OPTION OF RETAINING ANY OR ALL REMOVED FIXTURES OR EQUIPMENT FOR SALVAGE. ALL REMOVED EQUIPMENT AND FIXTURES THAT ARE NOT RETAINED BY THE OWNER, SHALL BE DISPOSED OF BY THE PC
- G. ALL CUTTING AND PATCHING, OF WALLS AND FLOORS, SHALL BE PERFORMED BY THE CONTRACTOR PERFORMING THE WORK REQUIRING THE PENETRATION. ALL PATCHING MATERIALS SHALL MATCH THE EXISTING CONDITIONS. ALL FINISH PAINTING TO BE BY THE GENERAL CONTRACTOR.
- H. REFER TO ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- I. BULLHEAD PIPING CONFIGURATIONS IN WATER PIPING ARE PROHIBITED.
- J. ALL NEW POTABLE WATER PIPING SHALL BE PURGED AND DISINFECTED PER THE INDIANA PLUMBING CODE PRIOR TO TIE-IN TO EXISTING POTABLE WATER SYSTEM. THE PC SHALL INSTALL ALL VALVES AND FITTINGS AS REQUIRED TO ACCOMPLISH THE PROCESS. A TEST REPORT OF CERTIFICATION SHALL BE SUBMITTED FOR REVIEW AND INCLUDED IN THE OPERATING AND MAINTENANCE MANUAL.
- K. ALL VALVES MUST BE ACCESSIBLE. IF LOCATED ABOVE DRYWALL CEILING OR BEHIND FINISHED WALLS, PROVIDE ACCESS DOOR. COORDINATE ALL ACCESS DOOR LOCATIONS WITH ARCHITECT.
- L. UNLESS NOTED OTHERWISE ALL VERTICAL PIPING DROPS TO FIXTURES, FAUCETS, ETC. SHALL BE CONCEALED IN THE WALL.
- M. INSTALLATION OF WATER PIPING IN EXTERIOR BUILDING WALLS SHOULD BE AVOIDED. IF NECESSARY, INSTALL PIPING ON BUILDING SIDE OF WALL INSULATION. INSULATED PIPING PER THE SPECIFICATIONS. COORDINATE ANY/ALL INSTALLATIONS WITH ARCHITECT/ENGINEER.
- N. DO NOT SUPPORT PIPING FROM ANOTHER PIPE, DUCTWORK OR CONDUIT. DO NOT SUPPORT ANY ITEM FROM ROOF DECK.
- O. COORDINATE THE LOCATIONS OF ALL CLEAN OUTS W/ ARCHITECT NOTE CONTRACTOR SHALL ACCOUNT FOR INCREASING WALL SIZE TO 6" STUD AS NECESSARY TO ACCOMMODATE CLEANOUTS.
- P. SLOPE - ALL HORIZONTAL PIPE TO BE SLOPED TOWARD DRAIN OUTLET PER INDIANA PLUMBING CODE

PLUMBING KEYNOTES

- 1. NEW SANITARY PIPE BELOW FLOOR (IN BASEMENT CONNECT TO EXISTING SEWER
- 2. NEW WATER SUPPLY LINE BELOW FLOOR (IN BASEMENT) CONNECT TO EXISTING SERVICE
- 3. ROUTE NEW SERVICES BELOW GRADE (GRADE IS APPROXIMATELY 4' BELOW MAIN GRADE) AND RISER INSIDE BUILDING IN CORNER
- 4. RECESSED NON-FREEZE HOSE BIBB AND LOCKABLE BOX IN EXISTING WALL. INSTALL PIPE IN NEW FRAMING AND FEED FROM FIRST FLOOR (NOT BASEMENT). INSULATE EXPOSED PIPE AT CEILING.
- 5. DOWN SPOUT LOCATION. REFER TO EXTERIOR ELEVATIONS.
- 6. UNDERGROUND STORMWATER LATERAL CONNECTED TO DOWNSPOUTS. DRAIN TO DAYLIGHT. REFER TO ELEVATIONS FOR DOWNSPOUT LOCATIONS.
- 7. POINT OF USE WATER HEATER UNDER SINK IN EVERY RESTROOM
- 8. COORDINATE DEPTH OF PLUMBING WITH NEW FOUNDATION

THIS PLUMBING PLAN IS DEVELOPED TO SHOW DESIGN INTENT ONLY. ACTUAL PLUMBING SYSTEM DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR LICENSED IN THE STATE OF INDIANA. ALL FIXTURES, AND PIPES SHALL BE INSTALLED PER ALL CODES AND FOR FULLY FUNCTIONING SYSTEM.

CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES TO DESIGN, FURNISH AND INSTALL ALL COMPONENTS FOR A FULL AND COMPLETE PLUMBING SYSTEM. THIS SYSTEM SHALL INCLUDE BUT NOT BE LIMITED TO FIXTURES, PIPING, DRAINS, VENTING, VALVES, WATER SERVICE, METER, ETC. CONTRACTOR SHALL PROVIDE A STATED ALLOWANCE WITH THEIR BID TO PERFORM DESIGN-BUILD SERVICES TO DESIGN, FURNISH AND INSTALL ALL COMPONENTS FOR A FULL AND COMPLETE PLUMBING SYSTEM. THIS SYSTEM SHALL INCLUDE BUT NOT BE LIMITED TO FIXTURES, PIPING, DRAINS, VENTING, VALVES, WATER SERVICE, METER, ETC. ARCHITECT SHALL REVIEW AND PROVIDE SUPPLEMENTAL INFORMATION TO THE STATE OF INDIANA AS REQUIRED.



CONSTRUCTION DOCUMENTS  
100 CENTER EAST BUILDING  
RENOVATION  
MISHAWAKA, INDIANA



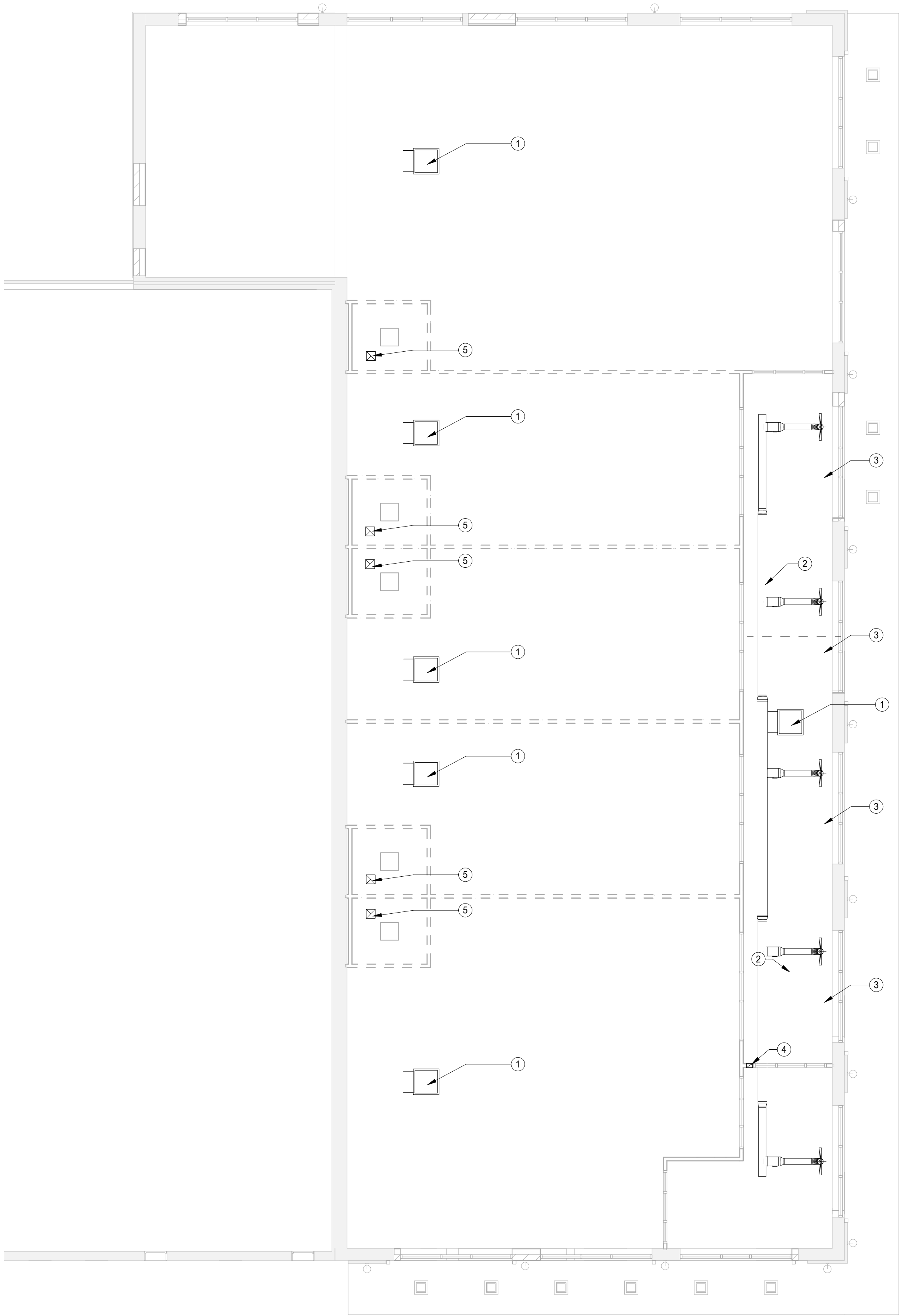
NO.	DATE	SUBMISSION

SHEET NAME

PLUMBING PLAN

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19
SHEET NUMBER	

P1-01



1 MECHANICAL PLAN  
1/8" = 1'-0"

GENERAL MECHANICAL NOTES

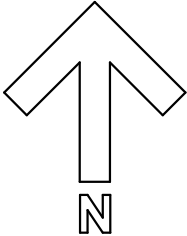
- A. CONFIRM ALL THERMOSTAT LOCATIONS WITH OWNER. UNLESS NOTED OTHERWISE STANDARD ROOM SENSOR/STAT MOUNTING HEIGHT SHALL BE 44" ABOVE THE FINISHED FLOOR TO THE CENTERLINE OF THE DEVICE.
- B. FIRE DAMPERS ARE REQUIRED AT ALL FIRE RATED PENETRATIONS.
- C. ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS. METAL AND FLEXIBLE. ALL EXHAUST DUCT SHALL BE GALVANIZED STEEL FOR 2.0 INCHES NEGATIVE PRESSURE. SA DUCT MAINS SHALL BE GALVANIZED STEEL CONSTRUCTED FOR 2.0 INCH POSITIVE PRESSURE. FLEX DUCT SHALL BE LISTED AND TESTED IN ACCORDANCE WITH UL181 AND RATED FOR THE SMACNA PRESSURE CLASSIFICATION IN WHICH IT IS APPLIED.
- D. MATCH NEW PIPING MATERIALS FOR PLUMBING PIPING WITH EXISTING PIPING
- E. INSULATE PLUMBING HW, CW AND REFRIGERANT PIPING WITH 1/2" UNICELLULAR FOAM INSULATION SEALED VAPOR TIGHT.
- F. THE HVAC SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA, INDIANA AND INTERNATIONAL CODES AND ALL LOCAL CODES AND ORDINANCES.
- G. DRAWINGS ARE DIAGRAMMATIC. INDICATED POSITIONS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE. EXACT EQUIPMENT LOCATIONS AND DUCTWORK AND PIPING ROUTING SHALL BE SUBJECT TO BUILDING CONSTRUCTION AND INTERFERENCE'S WITH OTHER TRADES.
- H. ALTHOUGH ATTEMPTS HAVE BEEN MADE TO IDENTIFY EXISTING EQUIPMENT LOCATIONS, PIPE AND DUCTWORK ROUTING AND SIZES WITH THE USE OF EXISTING DRAWINGS AND FIELD OBSERVATIONS, MC SHALL FIELD VERIFY ALL EXISTING INFORMATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT OR ENGINEER. NOTE ALL DISCREPANCIES ON THE AS-BUILT DRAWINGS.
- I. INSTALL ALL EQUIPMENT REQUIRING AN ELECTRICAL CONNECTION IN SUCH A MANNER SO THAT PROPER CLEARANCE IS PROVIDED FOR SERVICING PER THE NATIONAL ELECTRIC CODE.
- J. GC SHALL BE RESPONSIBLE FOR ALL ROOFING WORK. COORDINATE ALL ROOF PENETRATIONS WITH THE ARCHITECT AND GC.
- K. ALL EQUIPMENT, DAMPERS, CONTROL DEVICES, ETC. SHALL BE ACCESSIBLE. IF LOCATED ABOVE DRYWALL CEILING OR BEHIND FINISHED WALLS, PROVIDE ACCESS DOOR. COORDINATE ALL ACCESS DOOR LOCATIONS WITH ARCHITECT.
- L. HVAC PIPING AND DUCTWORK SHALL NOT BE INSTALLED IN ELECTRICAL ROOMS AND INFORMATION TECHNOLOGY (LOW VOLTAGE) ROOMS UNLESS THE PIPING AND/OR DUCTWORK IS DIRECTLY RELATED TO HVAC EQUIPMENT CONDITIONING THE ROOM. CONTACT ARCHITECT/ENGINEER PRIOR TO INSTALLATION OF ANY UNRELATED PIPING OR DUCTWORK.
- N. DO NOT SUPPORT DUCTWORK FROM ANOTHER DUCT, PIPE OR CONDUIT. DO NOT SUPPORT ANY ITEM FROM ROOF DECK.
- O. DURING CONSTRUCTION, COVER ALL SUPPLY, RETURN AND EXHAUST DUCTWORK OPENINGS TO PREVENT CONSTRUCTION DUST FROM ENTERING THE DUCTWORK. IF DUST COLLECTS INSIDE DUCTWORK, DUCTWORK SHALL BE CLEANED PRIOR TO PROJECT TURNOVER.
- P. RADIUS ELBOWS SHALL BE UTILIZED THROUGHOUT THE DUCTWORK SYSTEM AS SHOWN. DO NOT USED 90 DEGREE MITERED ELBOWS WITH TURNING VANES UNLESS SPECIFICALLY SHOWN OR WITHOUT PRIOR APPROVAL.
- Q. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING MATERIALS AND EXACT LOCATIONS OF CEILING DIFFUSERS AND GRILLES.
- R. DUCT RUNOUT SIZE SHALL BE THE SAME AS THE DIFFUSER OR GRILLE CONNECTION SIZE UNLESS NOTED OTHERWISE.
- S. INSTALL AND PROPERLY SUPPORT FLEXIBLE DUCTWORK TO AVOID ANY AIRFLOW RESTRICTIONS. NO KINKS OR CRIMPS ARE PERMITTED.
- T. FLEXIBLE DUCTWORK SHALL NOT PENETRATE THRU WALLS. RIGID SHEET METAL DUCTWORK IS REQUIRED AT ALL WALL PENETRATIONS.

MECHANICAL KEYNOTES

1. ROOF TOP HVAC UNIT. INSTALL NEW SUPPLY AND RETURN EQUIPMENT CURB WITH VIBRATION ISOLATION. DUCT DROP INTO SPACE
2. EXPOSED SPIRAL DUCT SUPPLY SUSPENDED FROM EXISTING TRUSSES
3. LINEAR SLOT DIFFUSER
4. TRANSFER AIR GRILL IN WALL ABOVE 14'-0" AFF
5. BATHROOM EXHAUST FAN 100 CFM. TO ROOF. CONTRL WITH LIGHT SWITCH

CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES TO DESIGN, FURNISH AND INSTALL ALL COMPONENTS FOR A FULL AND COMPLETE HVAC SYSTEM. THIS SYSTEM SHALL INCLUDE BUT NOT BE LIMITED TO UTILIZING/SUPPLEMENTING EXISTING MECHANICAL UNITS: DUCT WORK, THERMOSTATS, BALANCING, DAMPERS, GRILLES, DIFFUSERS, CONTROLS, ETC. ARCHITECT SHALL REVIEW AND PROVIDE SUPPLEMENTAL INFORMATION TO THE STATE OF INDIANA AS REQUIRED.

THIS MECHANICAL PLAN IS DEVELOPED TO SHOW DESIGN INTENT ONLY. ACTUAL MECHANICAL SYSTEM DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR LICENSED IN THE STATE OF INDIANA. ALL FIXTURES, AND DUCTWORK SHALL BE INSTALLED PER ALL CODES AND FOR FULLY FUNCTIONING SYSTEM.



CONSTRUCTION DOCUMENTS  
100 CENTER EAST BUILDING  
RENOVATION  
MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION

SHEET NAME MECHANICAL FLOOR PLAN	
ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: 1/8" = 1'-0"	DATE: 4-23-19
SHEET NUMBER M1-02	





1 ELECTRICAL FLOOR PLAN  
1/8" = 1'-0"

### GENERAL ELECTRICAL NOTES

- A. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), ALL APPLICABLE CODES, MANUFACTURER'S, UTILITY CO. AND OWNER'S REQUIREMENTS.
- B. "PROVIDE" SHALL MEAN FURNISH, INSTALL, MAKE ALL CONNECTIONS AND SHALL INCLUDE ALL EQUIPMENT, CONTROLS, ACCESSORIES, SUPPORTS, WIRING AND CONDUIT REQUIRED TO MAKE ITEM FULLY OPERATIONAL, UNLESS NOTED OTHERWISE.
- C. ALL WIRING SHALL BE COPPER AND SHALL RUN IN CONDUIT OR MC CABLE..
- D. ALL WIRING AND CONDUIT SHALL BE CONCEALED BEHIND FINISHED SURFACES, EXCEPT WHERE NOTED OTHERWISE. (SEE CONDUIT NOTES ON THIS SHEET)
- E. ALL CIRCUITS SHALL HAVE DEDICATED NEUTRALS.
- F. GROUND ALL CIRCUITS PER N.E.C.
- G. PROVIDE SUPPORTS FOR ALL PANELS, EQUIPMENT, AND DEVICES.
- H. COORDINATE ALL WORK WITH OTHER TRADES.
- I. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE POWER CIRCUITING TO ALL LIGHT FIXTURES, RECEPS, HVAC EQUIPMENT, AND ALL OTHER EQUIPMENT REQUIRING ELECTRICAL POWER. ALL CIRCUITING SHALL BE IN ACCORDANCE WITH THE N.E.C. CONTRACTOR SHALL FURNISH AND INSTALL ALL SWITCHES, CONDUIT WIRE, BOXES, LIGHT FIXTURES (INCLUDING LAMPS), SERVICE DEVICES RECEPTACLES, SWITCHBOARDS, PANELBOARDS, ETC. (SHOWN OR NOT SHOWN ON DRAWINGS) REQUIRED FOR A COMPLETE AND OPERATING ELECTRICAL SYSTEM.
- J. PATCH AND REPAIR ALL SURFACES AND STRUCTURE DAMAGED BY ELECTRICAL WORK TO MATCH SURROUNDING SURFACES.
- K. SEAL ALL PENETRATIONS THROUGH EXTERIOR WALLS TO BE WATER AND AIR TIGHT. SEAL ALL PENETRATIONS THROUGH WALLS, FLOORS, AND CEILINGS TO MAINTAIN FIRE AND ACOUSTICAL RATING.
- L. SUPPORT ALL LIGHT FIXTURES FROM BUILDING STRUCTURE, INDEPENDENT OF DROP CEILING. (2) CABLES PER FIXTURE MINIMUM.
- M. ALL LOW VOLTAGE WIRING, FIRE ALARM, SPEAKER, VOICE/DATA AND CABLE TV CABLE SHALL BE PLENUM RATED WHEN LOCATED IN A PLENUM CEILING SPACE.
- N. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND REQUIREMENTS ON THE JOB AND BY REFERENCE TO ARCHITECTURAL, MECHANICAL, AND EQUIPMENT SUPPLIERS DRAWINGS, SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- O. SEE ARCHITECTURAL ELEVATION & PLANS FOR DIMENSIONAL AND LOCATION INFORMATION RELATED TO THE ELECTRICAL DRAWINGS.

### SHEET KEYNOTES

1. COORDINATE POWER FOR TOILET EXHAUST. REFER TO HVAC
2. COORDINATE WITH PLUMBING FOR POWER FOR POINT SOURCE WATER HEATER
3. NEW EXTERIOR GFI RECEPTACLE. ROUTE POWER IN NEW CONSTRUCTION.
4. NEW POWER PANEL LOCATION FOR SUITE. COORDINATE POWER SUPPLY WITH BUILDING OWNER.
5. NEW POWER PANEL LOCATION FOR BUILDING POWER. COORDINATE POWER SUPPLY WITH BUILDING OWNER.

THIS ELECTRICAL PLAN IS DEVELOPED TO SHOW DESIGN INTENT ONLY. ACTUAL ELECTRICAL SYSTEM DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF INDIANA. ALL FIXTURES, DEVICES, WIRING, ETC. SHALL BE INSTALLED PER ALL CODES AND FOR FULLY FUNCTIONING SYSTEM.

### DEVICE SCHEDULE

$\$^3$	3 - WAY SWITCH	$\square$	DOOR SECURITY/CARD READER
$\$$	SWITCH	$\square$ PB	PUSH BUTTON
$\oplus$	DUPLEX RECEPTACLE	$\square$ N	PULL CORD EMERGENCY NURSE CALL STATION
$\oplus$ GFI	GROUND FAULT RECEPTACLE	$\square$ D	NURSE CALL DOME LIGHT W/ CHIME
$\triangle$	TELE/DATA ROUGH IN, 3/4" STUB	$\odot$ T	THERMOSTAT
$\square$	DISCONNECT	$\odot$ SD	SMOKE DETECTOR
$\square$ F	FIRE ALARM PULL STATION	$\square$ S	FIRE ALARM STROBE
$\square$ F $\triangleleft$	FIRE ALARM HORN/STROBE		



## CONSTRUCTION DOCUMENTS 100 CENTER EAST BUILDING RENOVATION MISHAWAKA, INDIANA



NO.	DATE	SUBMISSION

SHEET NAME

## ELECTRICAL POWER PLAN

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19

SHEET NUMBER

E1-01



## CONSTRUCTION DOCUMENTS

SEAN R. FREDERICK  
REGISTERED  
AR10900028  
STATE OF  
INDIANA  
ARCHITECT

*Sean R. Frederick*

SHEET NAME	
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ELECTRICAL  
LIGHTING PL

ARCHITECT: SRF	DRAWN BY: CAG
JOB NO. 18074-00	CHECKED BY: SRF
SCALE: As indicated	DATE: 4-23-19

SHEET NUMBER

E1-02

1/25/2019 5:29:34 PM

## GENERAL LIGHTING NOTES

- A. SUPPORT ALL LIGHT FIXTURES FROM BUILDING STRUCTURE, INDEPENDENT OF DROP CEILING. (2 CABLES PER FIXTURE MINIMUM).
- B. LOW VOLTAGE CABLE SHALL RUN IN CONDUIT.
- C. LIGHTING FIXTURES SHALL BE FURNISHED IN ACCORDANCE WITH DESCRIPTION AND REMARKS

## LIGHTING KEYNOTES

1. DECORATIVE LIGHT FIXTURE, CONNECT TO GENERAL BUILDING POWER.
2. 2X4 (2 LAMP) FIXTURE CHAIN SUPPORTED FROM TRUSSES
3. BATHROOM EXHAUST FAN 100 CFM, TO ROOF. CONTRL WITH LIGHT SWITCH
4. RECESSED CANOPY LIGHT. REFER TO REFLECTED CEILING PLAN FOR DIMENSIONS CONNECT TO BUILDING POWER.
5. DECORATIVE PENDANT LIGHT. CONNECT TO BUILDING POWER.

### LIGHT FIXTURE SCHEDULE

A	PENDANT LED	MILLENNIUM LIGHTING, RW HC 14 GA WITH WIRE CAGE, GALVANISHED FINISH
B	2x4 TROFFER LED	PRISMATIC LENS, 29 WATT, 400K COOL WHITE, CHAIN SUPPORTED, LITHONIA OR EQUAL
C	2x2 TROFFER LED	PRISMATIC LENS, 19 WATT, 400K COOL WHITE, LAY-IN FIXTURE, LITHONIA OR EQUAL
D	CANOPY LIGHT LED	SQUARE WITH POLYCARBONATE LENS, 45 WATT (DIVA LIGHT, CIP SERIES OR EQUAL)
E	STEP LIGHT	LED SIMILAR TO KIM LIGHTN GEL 807, WET LOCATION RATED, 10.5 WATTS, 4000K, BLACK FINISH
F	SCONE LED	"BARN LIGHT", MILLENNIUM LIGHTING, 544JABR WITH CAGE, COLOR TO BE SELECTED, 100 WATT, INSTALL LED BULD, COLOR TEMP 4000K
G	COMBO EXIT/ EMERGENCY	LED WITH BATTERY BACK UP, STANDARD RED EXIT, WHITE FIXTURE, SIMILAR TO MODEL ELCCOMBROZTR
H	TENANT SIGNALIGHT	(PROPOSED) 4' LED, 36 WATT, 4000K, FLOOD STRIP LIGHT, BLACK FINISH, INCON LIGHTING, 80097-36LED

THIS ELECTRICAL PLAN IS DEVELOPED TO SHOW DESIGN INTENT ONLY. ACTUAL ELECTRICAL SYSTEM DESIGN AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF INDIANA. ALL FIXTURES, DEVICES, WIRING, ETC. SHALL BE INSTALLED PER ALL CODES AND FOR FULLY FUNCTIONING SYSTEM.



1 LIGHTING PLAN  
1/8" = 1'-0"

4 BASEMENT LIGHTING PLAN  
1/8" = 1'-0"

3 ENLARGE LIGHTING PLAN  
1/8" = 1'-0"

