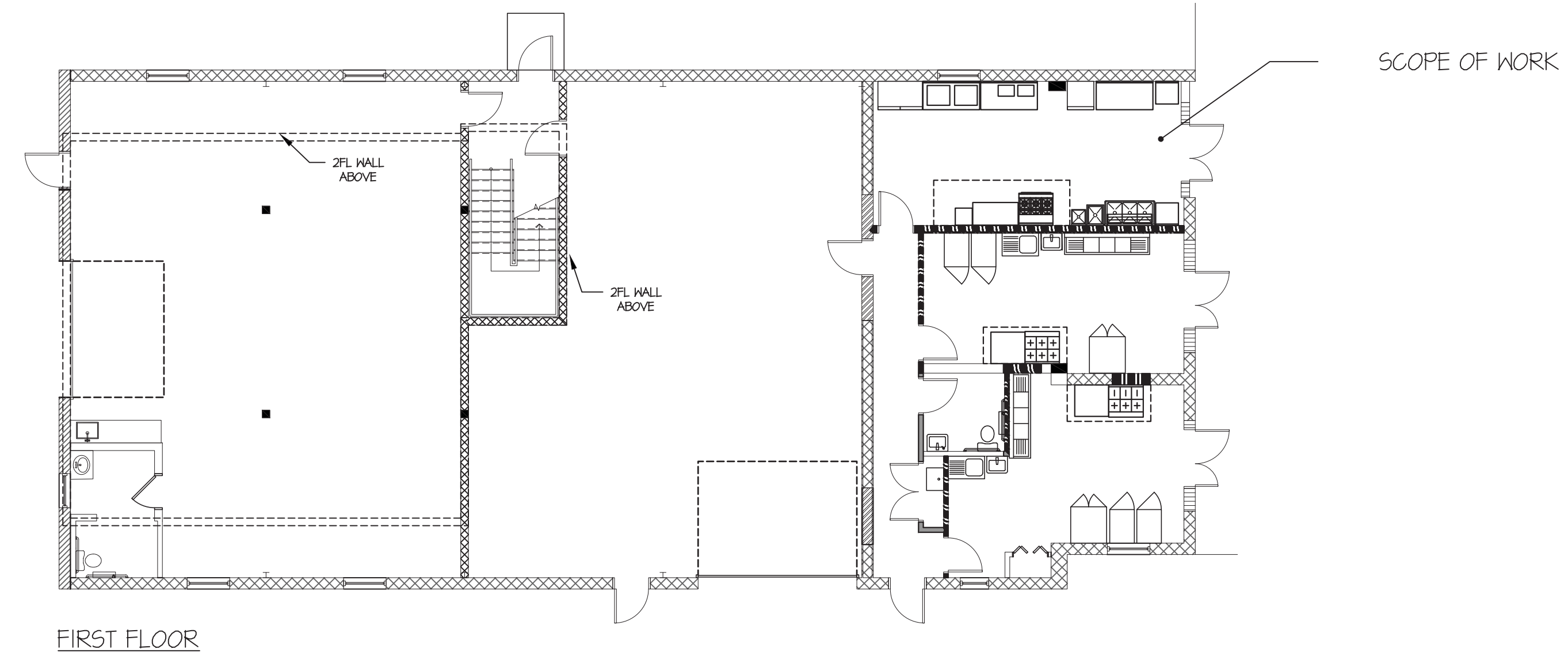
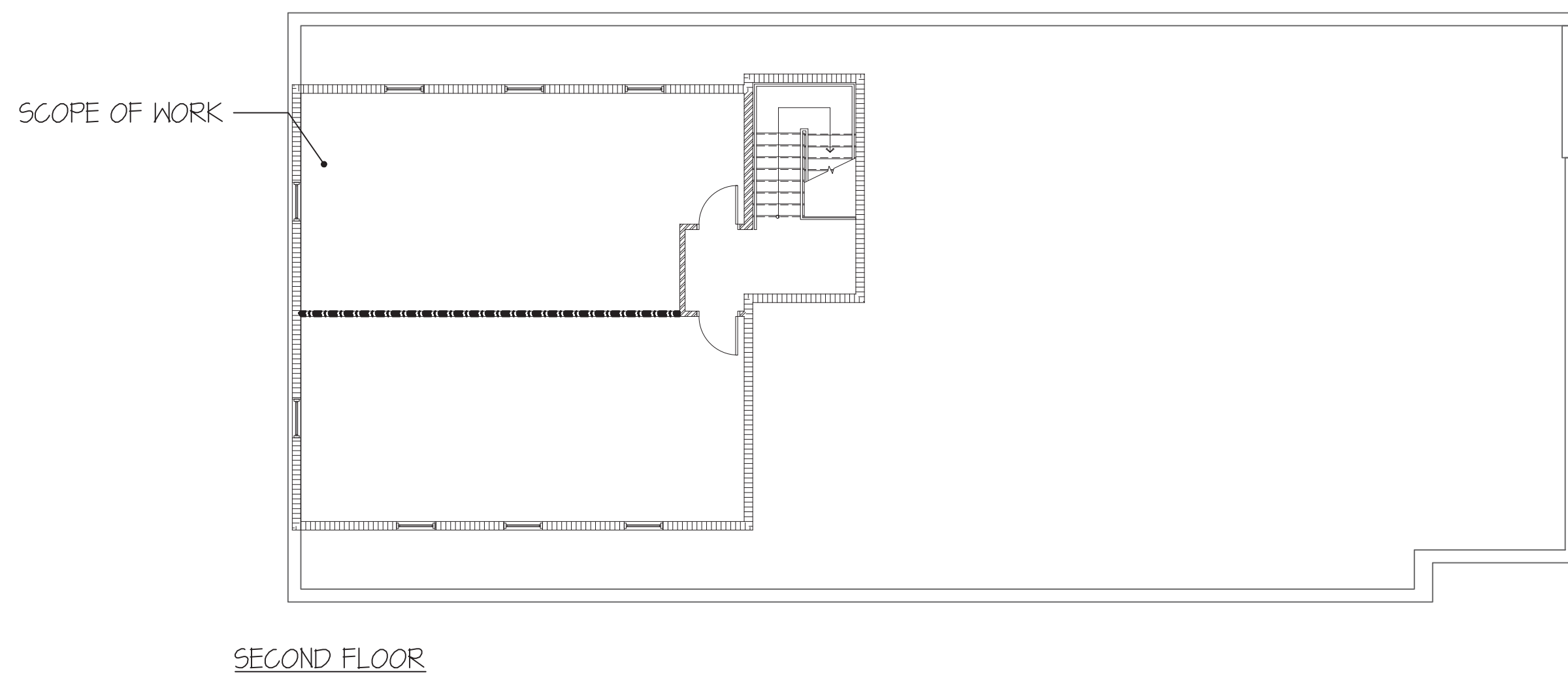


SPACE TO PLAN

145 N. RIDGE AVE
AMBLER, PA 19002



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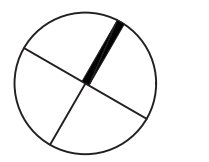


MD: 16301 FL: 96363 NY: 038058-1 MA: 31299

BAGLIVO ASSOCIATES
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472 Norristown Road
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ISSUED FOR REVIEW 02.03.2025
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NORTH

Project
SPACE TO PLAN LLC

145 N RIDGE AVE
AMBLER PA 19002

File Name

145 N Ridge Rd_SpaceToPlan_CDs_022025.dwg

Scale

AS NOTED

Date

02.20.2025

Drawn By

RZ

Project Number

2024-151

Drawing Title

COVER SHEET

Drawing Number

CS

INDEX OF DRAWINGS

C5	COVER SHEET
D1	RECORD CONDITIONS AND DEMOLITION PLANS
A1	ARCHITECTURAL PLANS
A1.1	DOOR SCHEDULE AND STAIR DETAILS
A1.2	ENLARGED TOILET ROOM PLANS AND ELEVATIONS
A1.3	BUILDING ELEVATIONS
A2	REFLECTED CEILING AND LIFE SAFETY PLANS
A3	EQUIPMENT AND ELECTRICAL PLANS
S100	STRUCTURAL COVERSHEET
S101	STRUCTURAL PLANS
S300	STRUCTURAL SECTION AND DETAILS

CODE INFORMATION

CODE REFERENCE	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL MECHANICAL CODE NFPA 70-2017 NATIONAL ELECTRIC CODE 2018 INTERNATIONAL PLUMBING CODE ANSI 117.1-2009 & IBC 2018 CHAPTER 11 AND APPENDIX E
USE GROUP CLASSIFICATION	B-BUSINESS S2 - LOW HAZARD STORAGE
CONSTRUCTION CLASSIFICATION	IIIB
FIRE PROTECTION	THE BUILDING IS <u>NOT</u> EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, IN ACCORDANCE WITH NFPA #13.

CODE INFORMATION

PLUMBING FIXTURE COUNT			
<u>TENANT A AND OFFICE A:</u>			
<u>UNSEX</u>	<u>REQUIRED</u>	<u>PROVIDED</u>	
TOILETS.....			
SINKS.....			
DRINKING FOUNTAINS	0	0	
<u>TENANT B, OFFICE B AND KITCHENS:</u>			
<u>UNSEX</u>	<u>REQUIRED</u>	<u>PROVIDED</u>	
TOILETS.....			
SINKS.....			
DRINKING FOUNTAINS	0	0	
JANITOR'S SINKS			
REQUIRED INSULATION VALUES PER 2018 IECC:	<u>WALLS</u> R-19	<u>CEILING</u> R-49	

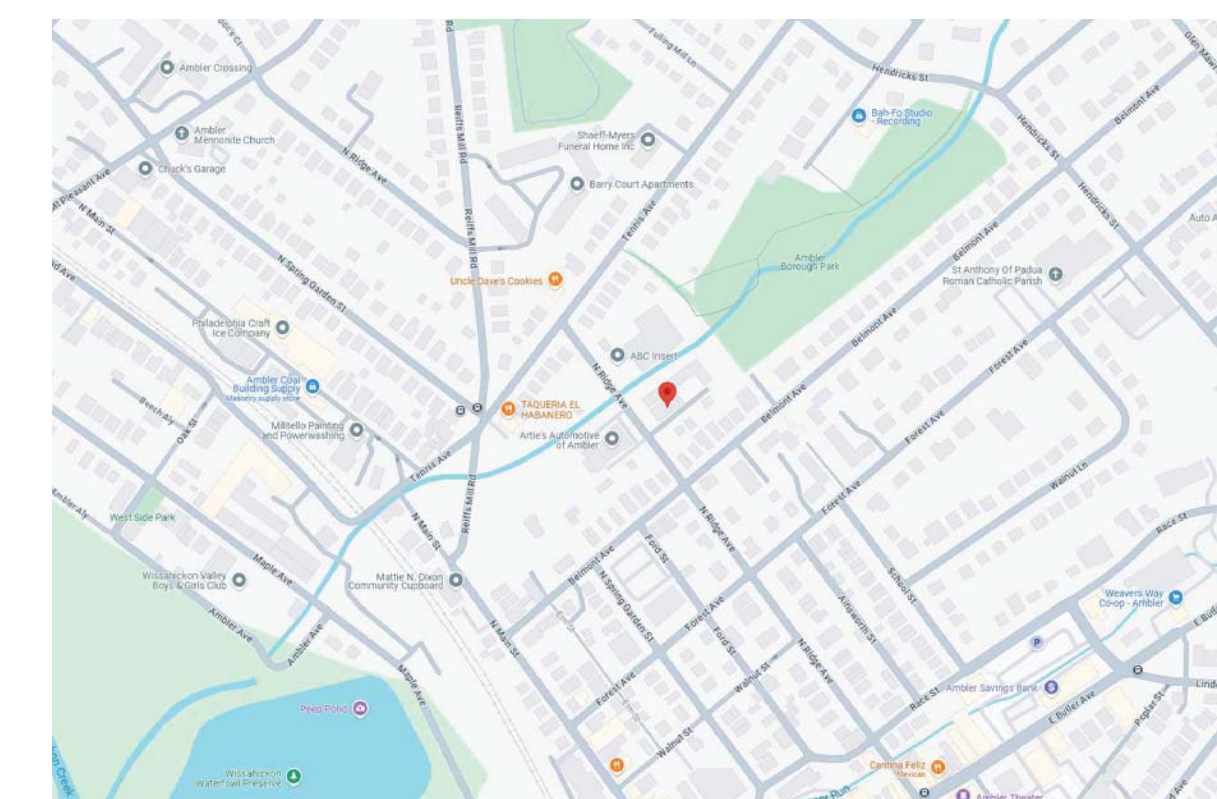
CODE INFORMATION

OCCUPANCY CAPACITY ALLOWABLE	<u>BUSINESS</u> OFFICE A #201: 554 SF @ 150 SF PER PERSON - 4 OCCUPANTS OFFICE B #202: 555 SF @ 150 SF PER PERSON - 4 OCCUPANTS BOOT KITCHEN #107: 362 SF @ 150 SF PER PERSON - 3 OCCUPANTS KITCHEN 2 #108: 242 SF @ 150 SF PER PERSON - 2 OCCUPANTS KITCHEN 3 #109: 245 SF @ 150 SF PER PERSON - 2 OCCUPANTS
OCCUPANCY CAPACITY PER PLAN	<u>WAREHOUSE</u> TENANT A #100: 1,513 SF @ 500 SF PER PERSON - 3 OCCUPANTS TENANT B #104: 1,361 SF @ 500 SF PER PERSON - 3 OCCUPANTS
TRAVEL DISTANCE ALLOWABLE	100'-0"
TRAVEL DISTANCE BY PLAN	97'-1"
ALL INTERIOR FINISHES & TRIM TO BE IN ACCORDANCE WITH ASTM, NFPA, AND CHAPTER 8 OF IBC 2018. THEY SHALL MEET OR EXCEED THE REQUIRED FLAME SPREAD RATINGS AND BE PROPERLY CLASSIFIED.	

PROJECT DIRECTORY

<u>TENANT</u>	<u>ARCHITECT</u>
SPACE TO PLAN LLC 145 N RIDGE AVE AMBLER, PA 19002	THOMAS P. BAGLIVO, AIA BAGLIVO ASSOCIATES 472 NORRISTOWN ROAD BLUE BELL, PA 19422 TBAGLIVO@BAGLIVOASSOCIATES.COM PHONE: 610.277.7107
<u>BUILDING OWNER</u>	<u>CONTRACTOR</u>
DAN DECASTRO DECASTRO ENTERPRISES LLC PHONE: 267.249.1145	TBD

SITE MAP



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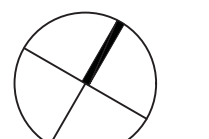
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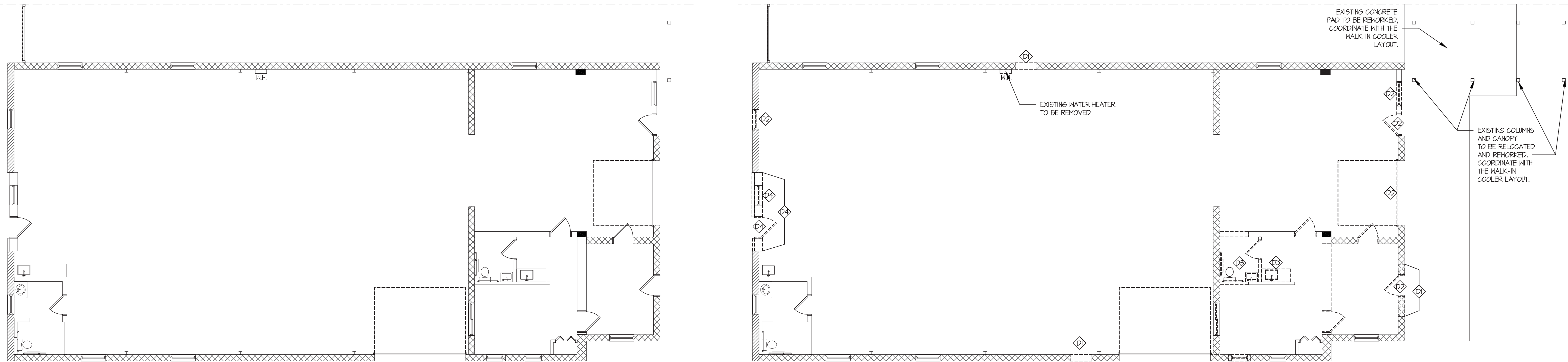
Drawn By
RZ

Project Number
2024-151

Drawing Title
RECORD CONDITIONS AND DEMOLITION PLANS

Drawing Number

D1



1 EXISTING RECORD CONDITIONS PLAN
1/8" = 1'-0"

2 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION LEGEND

- EXISTING PARTITION TO BE DEMOLISHED.
- EXISTING PARTITION TO REMAIN. PROTECT AS REQUIRED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- EXISTING BRICK WALL TO REMAIN.
- EXISTING CMU WALL TO REMAIN.
- EXISTING DOOR, FRAME & HARDWARE TO BE DEMOLISHED. CONTRACTOR TO INVENTORY FOR REUSE OR ATTIC STOCK.
- EXISTING DOOR TO REMAIN. PROTECT AS REQUIRED THROUGHOUT ALL PHASES OF CONSTRUCTION.

DEMOLITION KEY NOTES

- ALTER EXISTING EXTERIOR WALL AS REQUIRED TO PROVIDE NEW EXTERIOR DOOR ASSEMBLY. PROVIDE STRUCTURAL SUPPORT THROUGHOUT ALL PHASES OF CONSTRUCTION.
- REMOVE EXISTING DOOR AND WINDOW FOR NEW DOOR AND FRAME ASSEMBLY. PROVIDE STRUCTURAL SUPPORT THROUGHOUT ALL PHASES OF CONSTRUCTION AS NEEDED.
- DEMOLISH EXISTING MILLWORK, TOILET AND SINKS. EVALUATE EXISTING PLUMBING CONDITIONS AND REWORK/COORDINATE PLUMBING AS REQUIRED FOR NEW TOILET AND SINK LOCATION.
- REMOVE EXISTING WALL, DOOR AND WINDOW EXISTING HEADER/LINTEL TO REMAIN AS REQUIRED FOR INSTALLATION OF NEW DOOR.

DEMOLITION NOTES

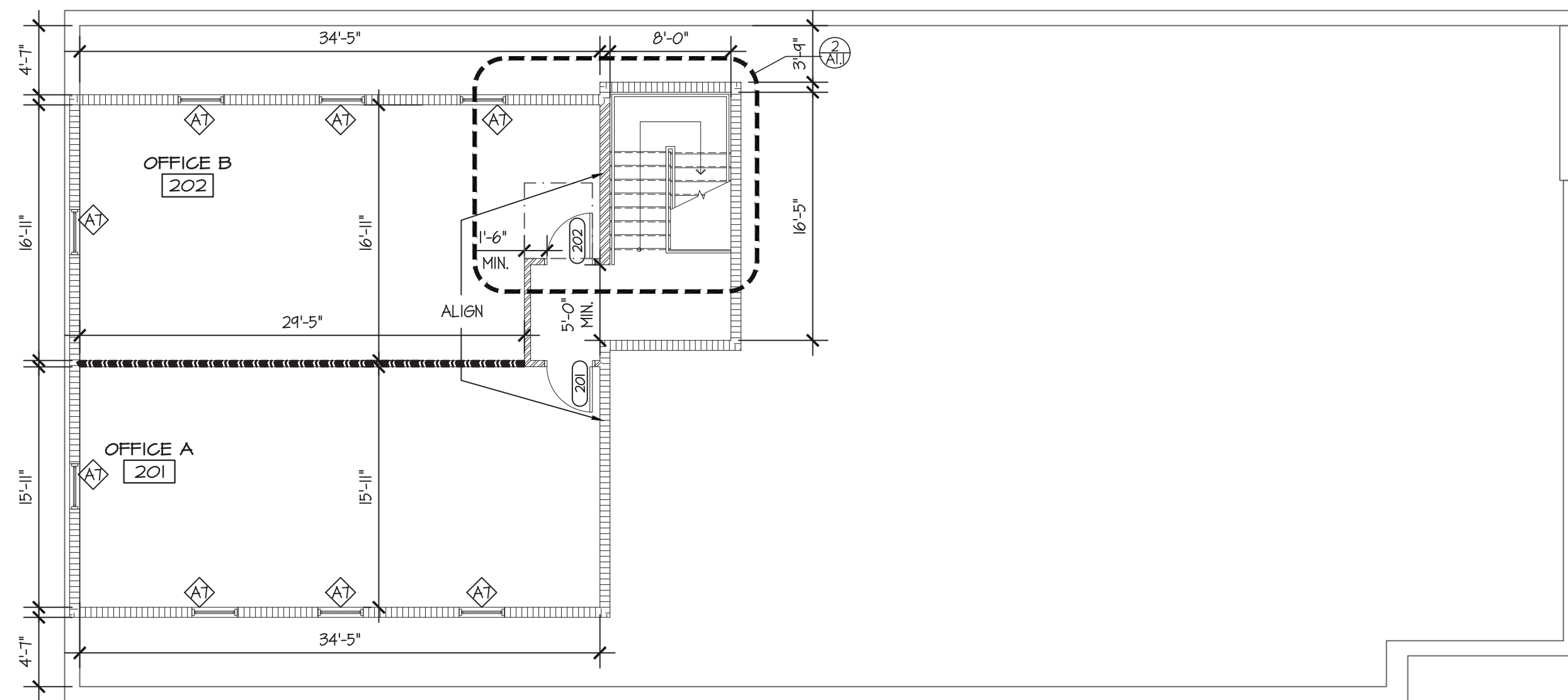
1. PROTECTION: CONTRACTOR TO PROVIDE TEMPORARY PROTECTION IN ALL BUILDING CORRIDORS USED THROUGHOUT DEMOLITION AND IN ALL EXISTING AREAS TO REMAIN. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
2. EGRESS: CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION.
3. SHUTDOWN: CONTRACTOR TO CONTACT BUILDING MANAGEMENT TO SCHEDULE A SHUTDOWN WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB SYSTEMS TO PERMIT DEMOLITION. CONTRACTOR TO ALLOW MINIMUM OF 24 HOURS ADVANCE NOTICE FOR ANY SHUTDOWN. ALL REQUESTS AND APPROVALS FOR SHUTDOWNS MUST BE IN WRITING.
4. LIGHTING: CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION.
5. HVAC: CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
10. DOOR ASSEMBLIES: CONTRACTOR TO DEMOLISH AND REMOVE EXISTING DOORS, FRAMES AND HARDWARE AS INDICATED BY PLAN. CLEAN, REPAIR AND SET-ASIDE FOR ATTIC STOCK. COORDINATE ATTIC STOCK LOCATION WITH BUILDING MANAGEMENT.
11. POWER / DATA: CONTRACTOR TO MAINTAIN ELECTRICAL CONNECTIONS AT ALL EXISTING PARTITIONS TO REMAIN, UNO. AT PARTITIONS TO BE REMOVED, DEMOLISH AND REMOVE ALL EXISTING ELECTRICAL AND TELE/ DATA CONNECTIONS BACK TO DEMISING PARTITIONS; DEAD-END ALL DEMOLISHED ELECTRICAL WIRING IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. AT EXISTING PARTITIONS TO REMAIN, IN A CODE-CONFORMING MANNER, DEMO AND REMOVE ANY EXISTING WALL SWITCHES, POWER AND DATA CONNECTIONS (INCLUDING BLANK PLATE CONNECTIONS) THAT CANNOT BE REUSED. REMOVE ALL BACK BOXES. FILL, PATCH AND REPAIR PARTITIONS AND PREPARE SUBSTRATE FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
12. FLOOR AND WALL: CONTRACTOR TO REMOVE EXISTING FLOOR AND WALL FINISHES (INCLUDING CARPET, BASE, TILE THROUGHOUT. PREPARE SUBSTRATE TO RECEIVE NEW FINISHES. SKIM-COAT PARTITIONS AS REQUIRED.
13. PLUMBING: AS NOTED ON PLAN TO REMOVE PLUMBING FIXTURES, INCLUDE ALL ASSOCIATED PIPES AND ROUGH PLUMBING. CAP AT WALL OR FLOOR.

GENERAL NOTES

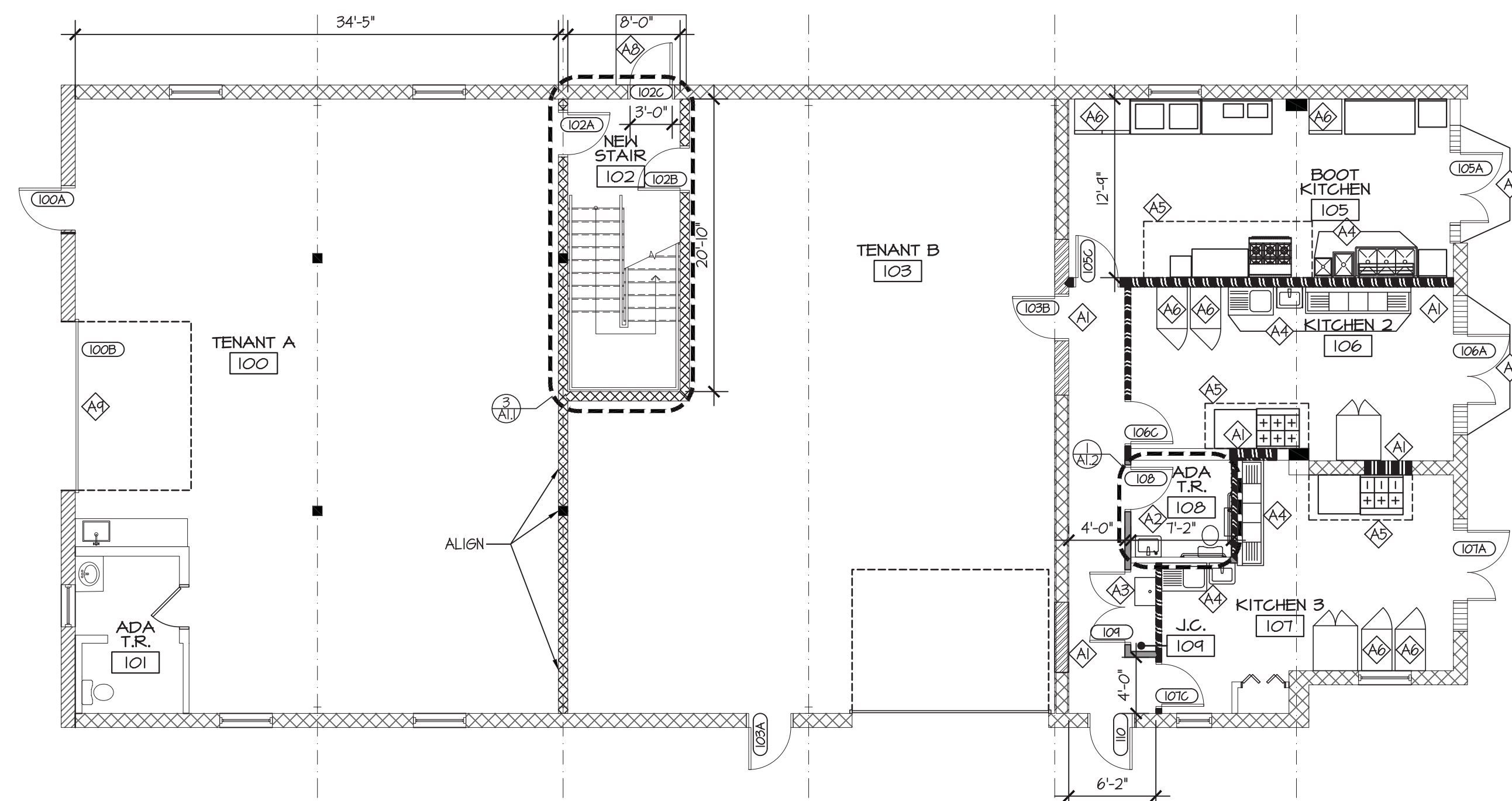
1. DISCREPANCIES: CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS AND SPECIFICATIONS AND NOTIFY BAGLIVO ASSOCIATES OF ANY CONFLICTING INFORMATION INCLUDING, BUT NOT LIMITED TO PRODUCT SPECIFICATIONS, DIMENSIONS, FIELD CONDITIONS AND DISCREPANCIES AFFECTING NEW LAYOUT. DO NOT MAKE ASSUMPTIONS.
2. BUILDING COORDINATION: CONTRACTOR TO VERIFY ALL BUILDING STANDARD REQUIREMENTS, FINISHES & SPECIFICATIONS PRIOR TO BID AND CONSTRUCTION. CONTRACTOR TO COMPLETE ALL BASE BUILDING CONSTRUCTION PER BUILDING STANDARDS. COORDINATE WITH BUILDING OWNER / TENANT.
3. PRIGING: PRIGING TO INCLUDE COMPLETE INSTALLATION OF ALL MATERIALS, INCLUDING, BUT NOT LIMITED TO REQUIRED PREP WORK, ADHESIVE, TAXES, FREIGHT, DELIVERY, INSTALLATION, STORAGE, OVERHEAD AND PROFIT.
4. CODES: CONTRACTOR TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL LOCAL, STATE AND FEDERAL LIFE SAFETY REGULATIONS AND CODES, INCLUDING BUT NOT LIMITED TO, ACCESSIBLE ROUTES FOR ACCESS TO BUILDING ENTRANCE AND OTHER BASE BUILDING AREA SUCH AS TOILET ROOMS, STAIRS, ELEVATORS, ETC.
5. PERMITS: CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS AND LICENSES REQUIRED.
6. DUMPSTER: CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTER WITH BUILDING MANAGEMENT.
7. EXISTING CONDITIONS TO BE REUSED SHALL BE CLEANED AND REPAIRED AS REQUIRED FOR "LIKE NEW" APPEARANCE AND OPERATIONAL CONDITION AND PRESERVE DURING CONSTRUCTION OPERATIONS INCLUDING BLINDS, HEATING UNITS, CONVECTOR COVERS, ETC.
8. FLOOR: LEVEL AND PREPARE EXISTING CONCRETE FLOOR SLABS AS REQUIRED TO PROVIDE A LEVEL SURFACE WITH A VARIANCE OF NO MORE THAN 1/4 INCH IN 10 FEET.
9. REPAIR ALL EXISTING HALL AND CEILINGS WHERE DAMAGED BY DEMOLITION OR OTHER CONSTRUCTION WORK, AND PREPARE TO RECEIVE SPECIFIED FINISH.
10. CLOSE, FILL OR STOP ALL OPENINGS IN FLOORS, CEILINGS OR OTHER RATED ASSEMBLIES.
11. MEP: ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WILL BE PROVIDED ON A DESIGN/BUILD BASIS BY THE GENERAL CONTRACTOR.
12. HVAC: INSPECT AND ENSURE THAT ALL EXISTING SYSTEMS ARE OPERATIONAL UPON COMPLETION.
13. HVAC: CONFIRM EXISTING HVAC IN NEW SPACE HAS ADEQUATE DISTRIBUTION
14. RECONFIGURE HVAC, SPRINKLERS AND FIRE ALARM AS REQUIRED TO MEET NEW LAYOUT.
15. THERMOSTATS: ALL NON DIGITAL THERMOSTATS TO BE REPLACED WITH DIGITAL THERMOSTATS
16. APPLIANCES: MAINTENANCE AND REPAIR OF APPLIANCES PURCHASED AND INSTALLED BY CONTRACTOR ARE THE RESPONSIBILITY OF THE TENANT OUTSIDE OF THE WARRANTY.

ACCESSIBILITY NOTES

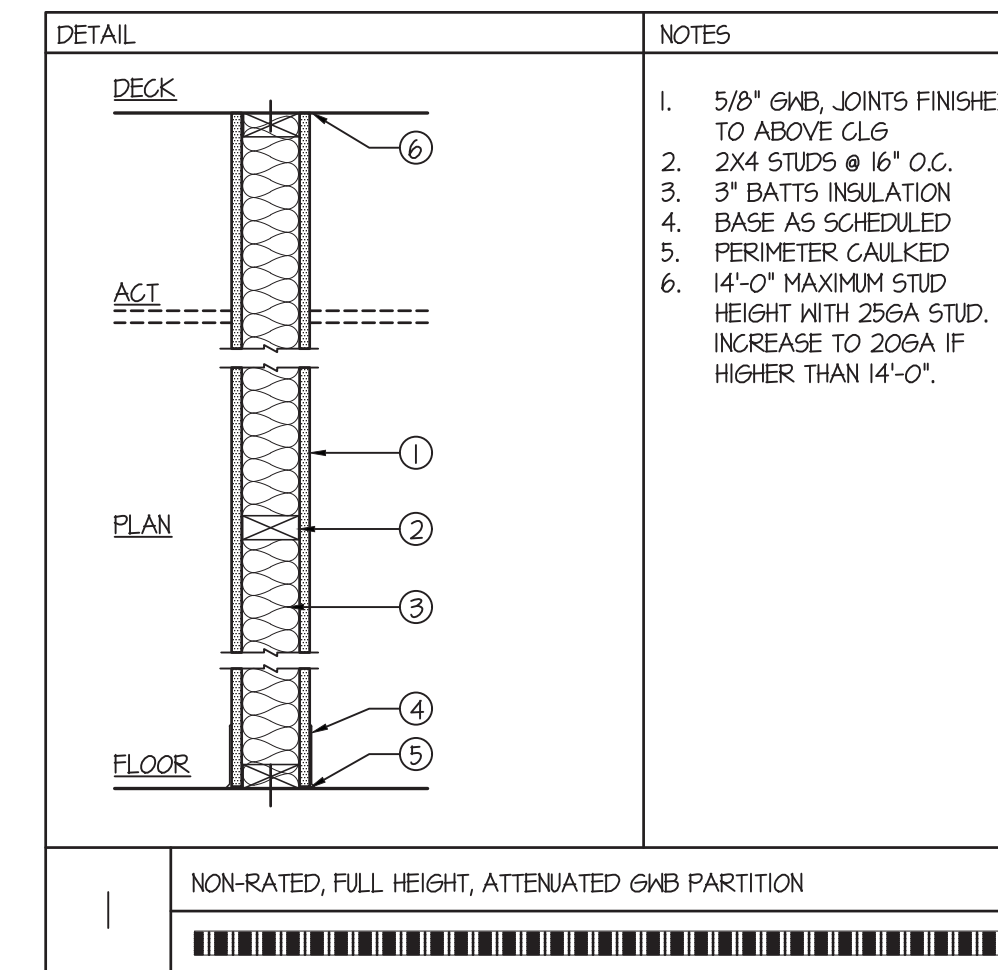
1. ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH ANSI A117.1-2009 / IBC 2018 - CHAPTER 11 & APPENDIX E.
2. FLOOR SURFACES: ALL FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CHANGES IN LEVEL OF FLOOR SURFACES GREATER THAN 1/2" IN HEIGHT SHALL BE RAMPED.
3. TURNING SPACES: TURNING SPACES SHALL HAVE A FLOOR SURFACE WITH A SLOPE NO STEEPER THAN 1:48. A CIRCULAR TURNING SPACE SHALL BE 60" IN DIAMETER, MINIMUM. A T-SHAPED TURNING SPACE SHALL BE 60" SQUARE WITH BASE AND ARMS OF 36" MINIMUM IN WIDTH.
4. CLEAR FLOOR SPACE: CLEAR FLOOR SPACE SHALL BE 30" X 48" MINIMUM AND IS TO BE POSITIONED FOR EITHER FORWARD OR PARALLEL APPROACH.
5. FLOOR SPACE OVERLAP: WHERE CLEAR FLOOR SPACE OVERLAPS AN ELEMENT KNEE AND TOE CLEARANCE SHALL BE PROVIDED AS SPECIFIED IN SECTION 306.
6. PROTRUDING OBJECTS ALONG CIRCULATION PATHS SHALL CONFORM TO THE FOLLOWING GUIDELINES:
 - a. OBJECTS LOCATED WITHIN 21" AND 80" ABOVE THE FLOOR SHALL PROTRUDE A MAXIMUM OF 4" INTO THE PATH. REFER TO SECTION 301.2 FOR EXCEPTIONS.
 - b. THE REQUIRED CLEAR WIDTH OF A CIRCULATION PATH CANNOT BE REDUCED BY PROTRUDING OBJECTS.
 - c. GUARDRAILS OR OTHER BARRIERS ARE REQUIRED WHERE PROTRUDING OBJECTS FALL BEYOND LIMITS ALLOWED AND/OR VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FINISHED FLOOR.
7. DOOR HARDWARE: ALL DOORS TO RECEIVE LEVER TYPE HARDWARE.
8. DOORS: WHEN TWO DOORS ARE PLACED IN A SERIES A MINIMUM DISTANCE OF 48" PLUS THE WIDTH OF ANY DOOR SWINGS INTO THE SERIES IS REQUIRED BETWEEN THEM. A TURNING SPACE COMPLYING WITH SECTION 304 SHALL ALSO BE PROVIDED.
8. OPERABLE PARTS SHALL BE LOCATED ADJACENT TO A CLEAR FLOOR SPACE AS SPECIFIED IN SECTION 305 AND BE USED WITHIN REACH RANGES AS ILLUSTRATED IN SECTION 308.
9. TACTILE SIGNS TO COMPLY WITH SECTION 703. CHARACTERS AND PICTOGRAMS TO CONTRAST WITH THE BACKGROUND AND HAVE NON-GLARE FINISH. BRAILLE IS TO BE LOCATED UNDER THE CORRESPONDING TEXT AND BE SEPARATED BY A MINIMUM OF 3/8" FROM ANY OTHER TACTILE CHARACTER, DECORATION AND/OR BORDER. MOUNT BRAILLE AT A MINIMUM OF 48" AND A MAXIMUM OF 60" FROM THE FINISHED FLOOR. MEASURE MOUNTING HEIGHT FROM THE BASELINE.



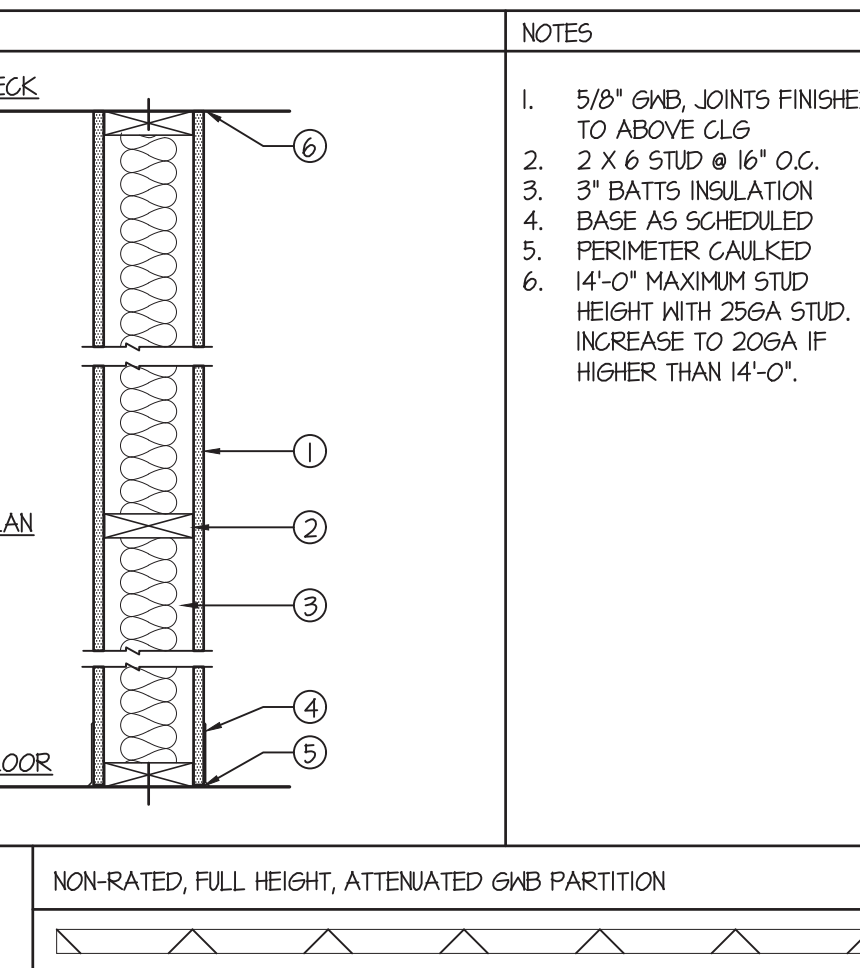
1 SECOND FLOOR ARCHITECTURAL PLAN
1/8" = 1'-0"



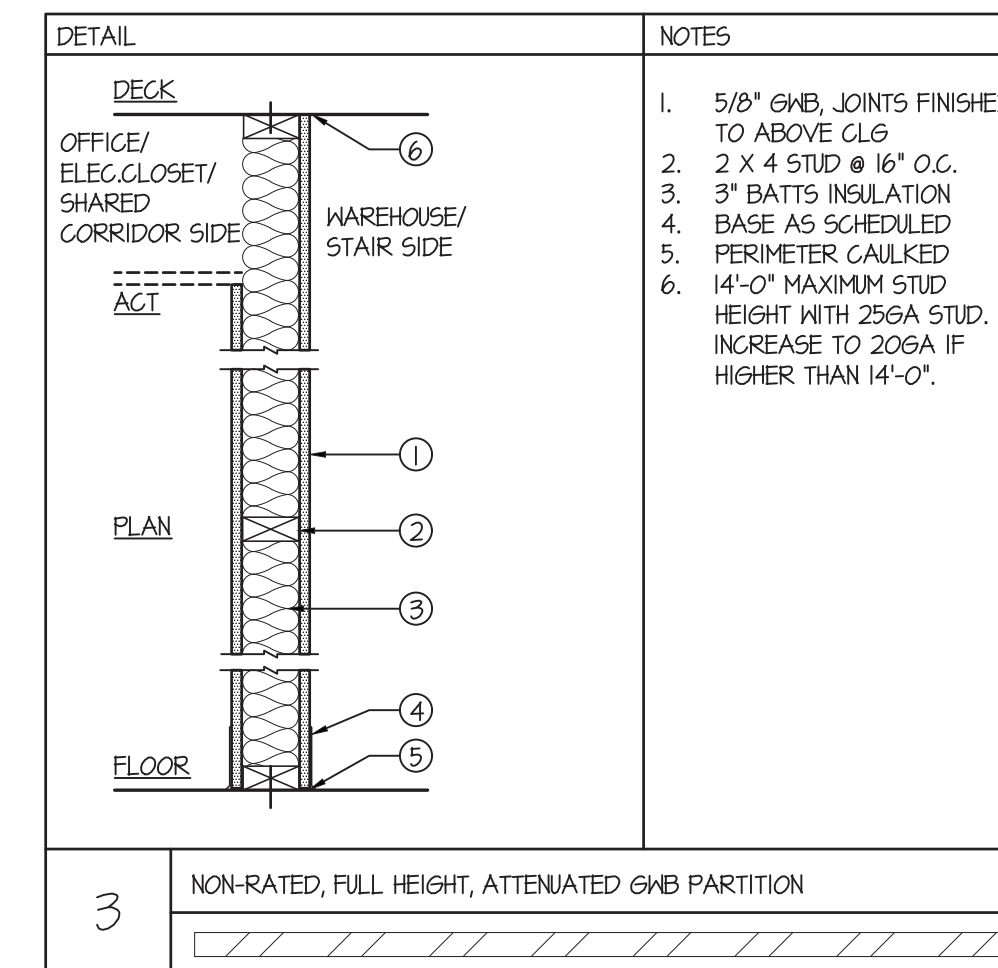
2 FIRST FLOOR ARCHITECTURAL PLAN
1/8" = 1'-0"



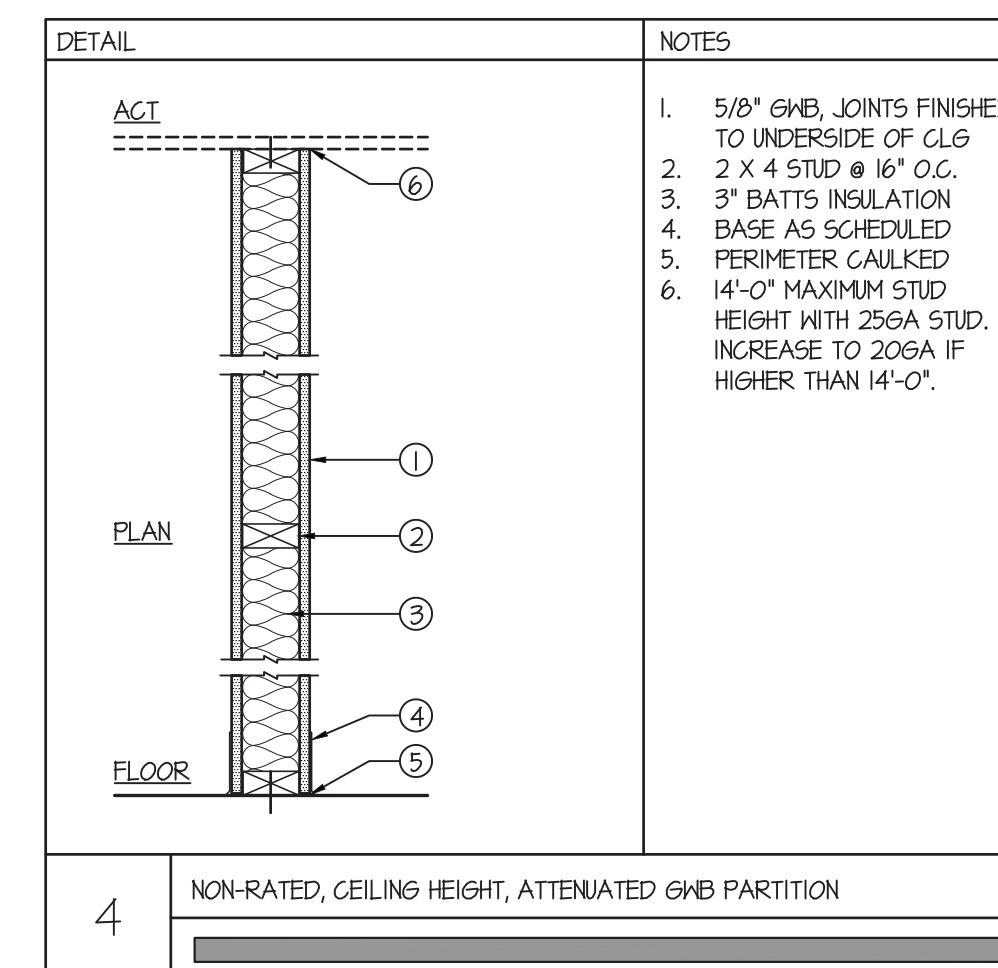
- 5/8" GNB, JOINTS FINISHED TO ABOVE CLG
- 2X4 STUDS @ 16" O.C.
- 3" BATTS INSULATION
- BASE AS SCHEDULED PERIMETER, CAULKED
- 14'-0" MAXIMUM STUD HEIGHT WITH 256A STUD, INCREASE TO 206A IF HIGHER THAN 14'-0".



- 5/8" GNB, JOINTS FINISHED TO ABOVE CLG
- 2 X 6 STUD @ 16" O.C.
- 3" BATTS INSULATION
- BASE AS SCHEDULED PERIMETER, CAULKED
- 14'-0" MAXIMUM STUD HEIGHT WITH 256A STUD, INCREASE TO 206A IF HIGHER THAN 14'-0".



- 5/8" GNB, JOINTS FINISHED TO ABOVE CLG
- 2 X 4 STUD @ 16" O.C.
- 3" BATTS INSULATION
- BASE AS SCHEDULED PERIMETER, CAULKED
- 14'-0" MAXIMUM STUD HEIGHT WITH 256A STUD, INCREASE TO 206A IF HIGHER THAN 14'-0".



- 5/8" GNB, JOINTS FINISHED TO UNDERSIDE OF CLG
- 2 X 4 STUD @ 16" O.C.
- 3" BATTS INSULATION
- BASE AS SCHEDULED PERIMETER, CAULKED
- 14'-0" MAXIMUM STUD HEIGHT WITH 256A STUD, INCREASE TO 206A IF HIGHER THAN 14'-0".

ARCHITECTURAL LEGEND	
	EXISTING PARTITION TO REMAIN. PROTECT AS REQUIRED THROUGHOUT ALL PHASES OF CONSTRUCTION.
	EXISTING BRICK WALL TO REMAIN.
	EXISTING CMU WALL TO REMAIN.
	NEW WOOD FRAMED EXTERIOR WALL, SEE SECTION 4/5301 AND STRUCTURAL PLANS ON SHEET S101.
	NEW BUILDING STANDARD TENANT DEMISING PARTITION FROM FLOOR TO UNDERSIDE OF DECK, U.N.O. SEE PARTITION TYPE 1/A1.
	NEW BUILDING STANDARD TENANT DEMISING PARTITION FROM FLOOR TO UNDERSIDE OF DECK, U.N.O. SEE PARTITION TYPE 2/A1.
	NEW BUILDING STANDARD TENANT DEMISING PARTITION FROM FLOOR TO UNDERSIDE OF DECK ON WAREHOUSE AND STAIR SIDE, AND PARTITIONS FROM FLOOR TO UNDERSIDE OF SUSPENDED CEILING ON OFFICES, ELEC. CLOSET, AND SHARED CORRIDOR SIDE, U.N.O. SEE PARTITION TYPE 3/A1.
	NEW BUILDING STANDARD PARTITIONS FROM FLOOR TO UNDERSIDE OF SUSPENDED CEILING, U.N.O. SEE PARTITION TYPE 4/A1.
	INDICATES EXISTING DOOR, FRAME & HARDWARE TO REMAIN, U.N.O.
	INDICATES NEW DOOR ASSEMBLY, MATCH BUILDING STANDARD. CONTRACTOR TO PROVIDE SAMPLE FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.

ARCHITECTURAL KEY NOTES	
	INFILL EXISTING OPENING TO MATCH ADJACENT CONSTRUCTION. REFINISH AS REQUIRED FOR A MONOLITHIC APPEARANCE.
	PROVIDE ADA COMPLIANT TOILET ROOM. SEE SHEET A1.2 FOR ENLARGED PLAN, ELEVATIONS AND DETAILS.
	PROVIDE AND INSTALL NEW UTILITY SINK OR FLOOR MOUNTED MOP SINK WITH ALL NECESSARY PLUMBING.
	AT ALL NEW SINK LOCATIONS: PROVIDE BLOCKING AS REQUIRED. PROVIDE A.D.A. COMPLIANT S.S. SINK AND FITTINGS. PROVIDE HOT AND COLD WATER CONNECTIONS, DRAIN AND ALL PLUMBING. EXPOSED PIPES TO BE WRAPPED. SEE SHEET A3 FOR EQUIPMENT LIST.
	PROVIDE BLOCKING AS REQUIRED FOR ANGUL HOOD. FOLLOW ALL MANUFACTURER'S INSTALLATION REQUIREMENTS.
	INSTALL COLD WATER CONNECTIONS FOR REACH-IN REFRIGERATOR, AND FREEZER. COORDINATE LOCATION WITH BUILDING OWNER AND TENANT'S EQUIPMENT. PROVIDE 1/4" COPPER PIPING WITH SHUT OFF VALVE FOR COLD WATER CONNECTION TO TENANT SUPPLIED REFRIGERATOR.
	PROVIDE NEW 36" W X 60" H EXTERIOR WINDOWS IN THE SECOND FLOOR. COORDINATE WITH BUILDING OWNER FOR DETAILS.
	PROVIDE NEW 5' X 5' CONCRETE LANDING PAD FLUSH WITH FLOOR.
	REPLACE OR REINSTALL GARAGE DOOR IN ITS ORIGINAL LOCATION, UTILIZING THE EXISTING LINTEL.

ARCHITECTURAL NOTES	
1.	PROTECTION: CONTRACTOR TO PROVIDE TEMPORARY PROTECTION IN ALL BUILDING CORRIDORS USED THROUGHOUT NEW CONSTRUCTION, AND IN ALL EXISTING AREAS TO REMAIN. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
2.	EGRESS: CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT NEW CONSTRUCTION.
3.	SHUTDOWN: CONTRACTOR TO CONTACT BUILDING MANAGEMENT TO SCHEDULE A SHUTDOWN WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB SYSTEMS TO PERMIT DEMOLITION. CONTRACTOR TO ALLOW MINIMUM OF 24 HOURS ADVANCE NOTICE FOR ANY SHUTDOWN. ALL REQUESTS AND APPROVALS FOR SHUTDOWNS MUST BE IN WRITING.
4.	LIGHTING: CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF NEW CONSTRUCTION.
5.	HVAC: CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
6.	CHALK LINE REVIEW: CONTRACTOR TO CONTACT BUILDING MANAGEMENT AND BAGLIVO ASSOCIATES FOR REVIEW OF CHALK LINES PRIOR TO START OF CONSTRUCTION.
7.	BLOCKING: PROVIDE FIRE TREATED WOOD BLOCKING IN ALL NEW PARTITIONS WHERE REQUIRED FOR FURNITURE, SHELVING, MILLWORK INSTALLATION AND WALL MOUNTED TELEVISIONS.
8.	WINDOWS: CONTRACTOR TO REPAIR WINDOW SILLS, JAMBS AND HEADS AS REQUIRED AT ALL PERIMETER WINDOWS.
9.	RECEPTACLES: AT NEW PARTITIONS TO BE CONSTRUCTED; CONTRACTOR TO PROVIDE AND COORDINATE STUD SPACING WITH CRITICAL RECEPTACLE LOCATIONS.
10.	FLOOR AND WALL: PREPARE SUBSTRATE TO RECEIVE NEW FINISHES. SKIM-COAT PARTITIONS AS REQUIRED.
11.	SINK: PROVIDE HOT AND COLD WATER CONNECTIONS, DRAIN AND ALL PLUMBING.
12.	WATER LINES: WATER LINES FOR TENANT SUPPLIED REACH-IN REFRIGERATOR, AND FREEZER.
13.	WATER CONNECTIONS: USE NEW COPPER PIPING FOR COLD WATER CONNECTION.

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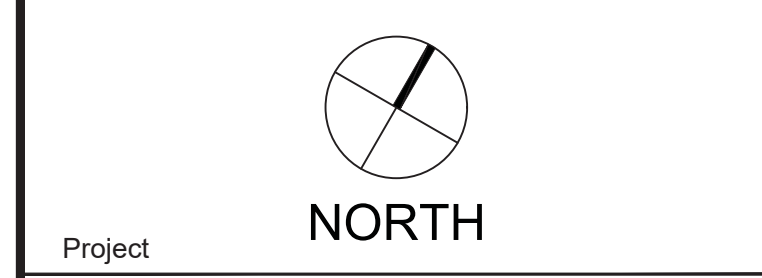


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02.20.2025
Drawn By
RZ
Project Number
2024-151
Drawing Title
ARCHITECTURAL PLANS
Drawing Number

A1

NOTE:
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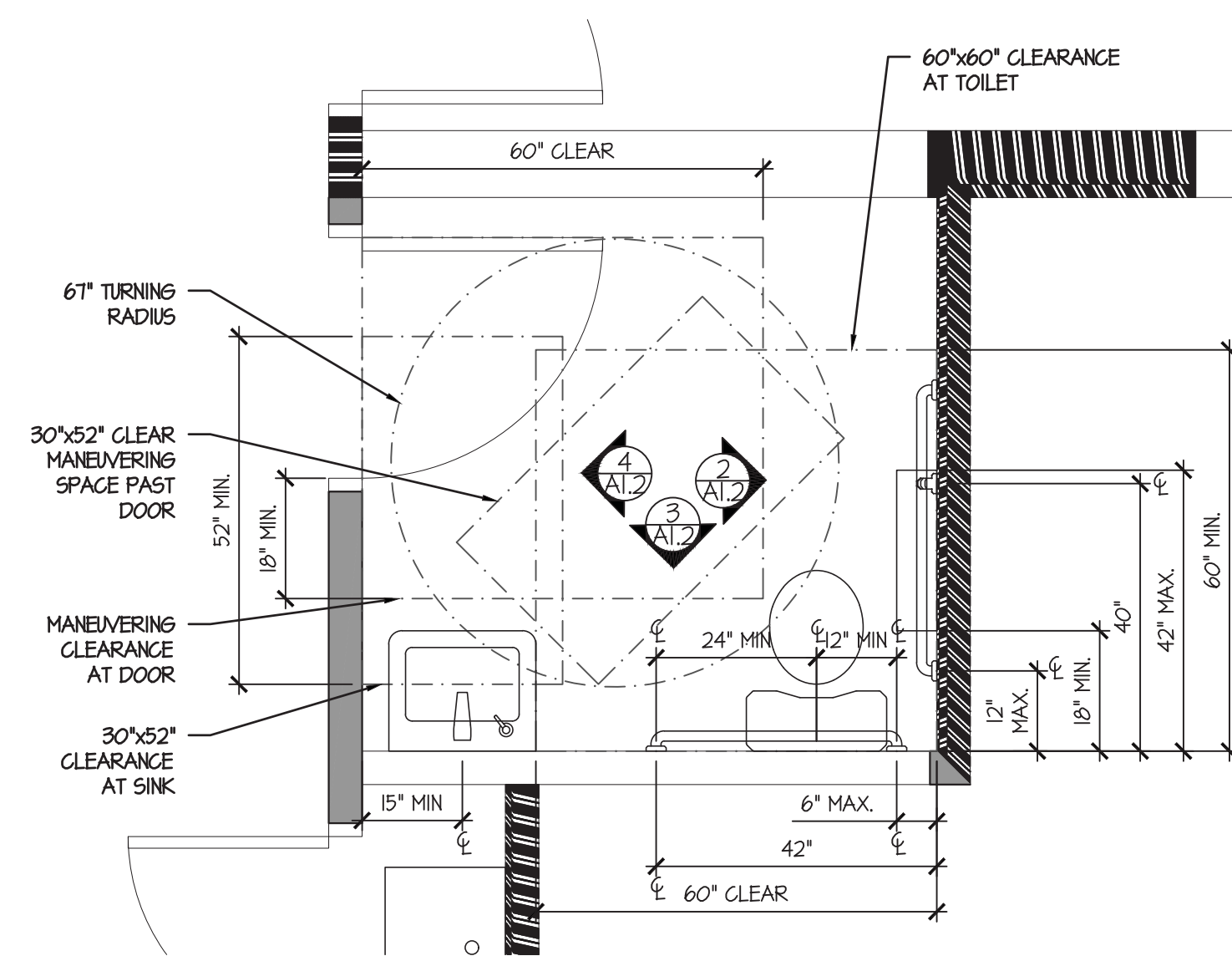


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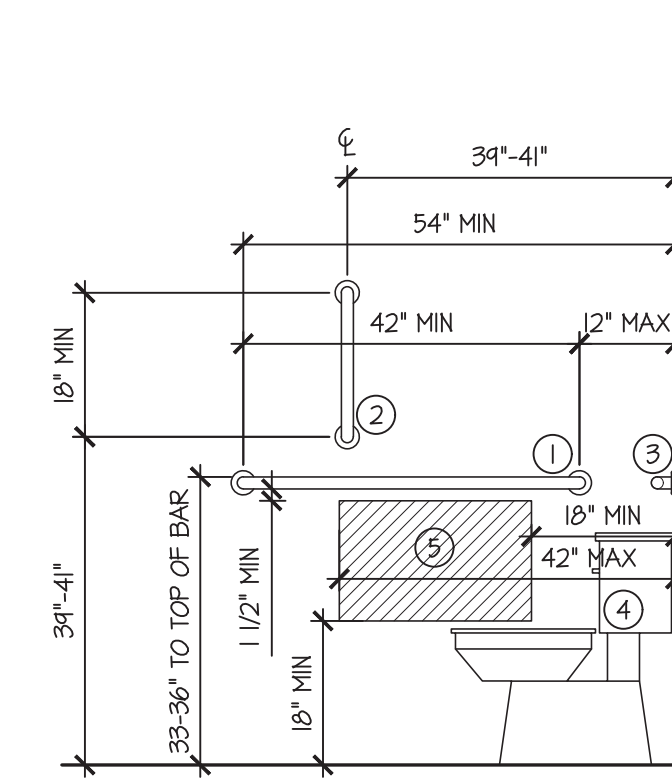
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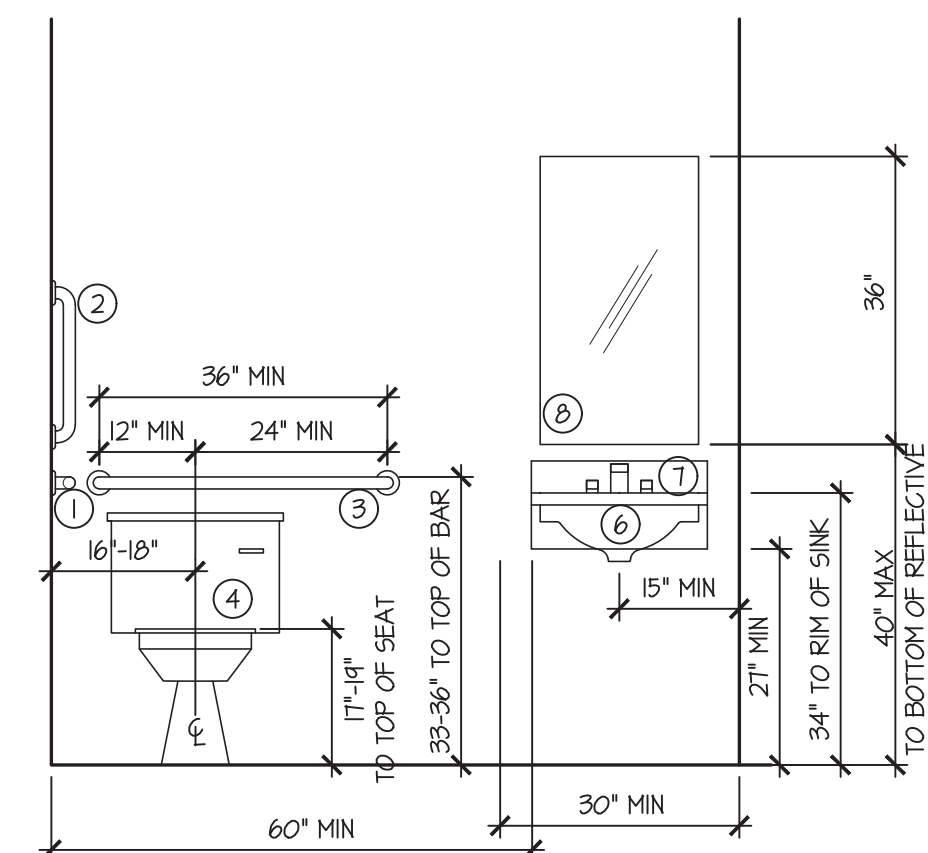
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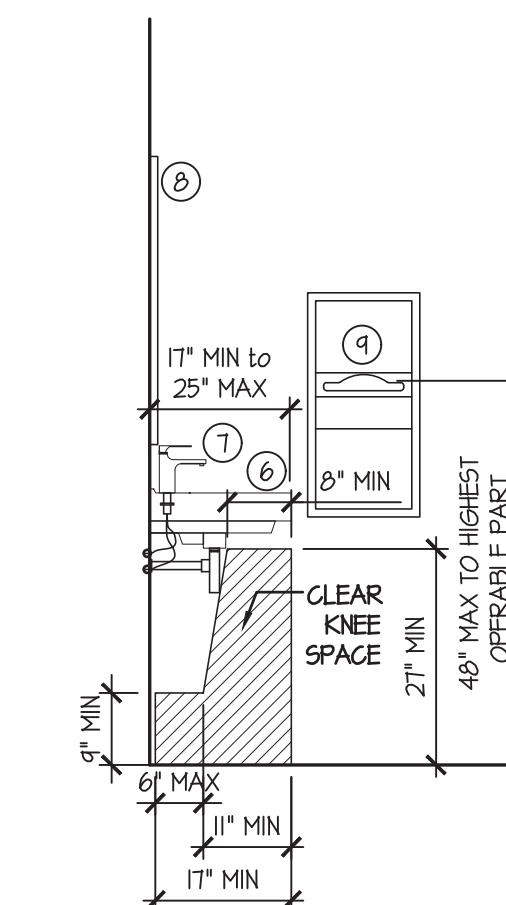
1 ENLARGED ADA T.R. 110
1/2" = 1'-0"



2 ADA T.R. 110 ELEVATION
1/2" = 1'-0"



3 ADA T.R. 110 ELEVATION
1/2" = 1'-0"



4 ADA T.R. 110 ELEVATION
1/2" = 1'-0"

TOILET ROOM ACCESSIBILITY NOTES

TOILET ROOM DIMENSIONS, LAYOUTS, MOUNTING HEIGHTS, FIXTURES AND ACCESSORIES TO BE IN ACCORDANCE WITH ANSI A117.1-2009 / IBC 2018 - CHAPTER 11 & APPENDIX E.

- ALL GRAB BARS TO BE:
 - 1-1/2" IN DIAMETER
 - MOUNTED AT 1-1/2" CLEAR FROM FINISHED WALL SURFACE
 - WITHSTAND 250 POUNDS OF VERTICAL OR HORIZONTAL FORCE.
- GRAB BARS ON SIDE OF WATER CLOSET:
 - 42" HORIZONTAL GRAB BAR TO BE SET AT 12" MAXIMUM FROM FINISHED BACK WALL SURFACE AND MOUNTED 33" TO 36" FROM FINISHED FLOOR TO TOP OF GRAB BAR.
 - 18" VERTICAL GRAB BAR TO BE SET AT 34"-41" FROM FINISHED FLOOR TO BOTTOM OF GRAB BAR.
- 36" GRAB BAR BEHIND WATER CLOSET TO BE SET AT 6" MAXIMUM FROM FINISHED SIDE WALL AND MOUNTED 33" TO 36" FROM FINISHED FLOOR TO TOP OF GRAB BAR.
- WATER CLOSETS TO BE SET AT 17"-19" FROM FINISHED FLOOR TO TOP OF TOILET SEAT AND 16"-18" FROM CENTER LINE OF FIXTURE TO NEAREST FINISHED WALL SURFACE. PROVIDE A 60" CLEAR SPACE FROM SIDE WALL OF WATER CLOSET AND 56" CLEAR FROM BACK WALL.
- TOILET PAPER DISPENSERS TO BE MOUNTED ON SIDE WALL BETWEEN 18" AND 42" FROM FINISHED WALL SURFACE OF REAR WALL AND MINIMUM OF 18" OFF OF THE FINISHED FLOOR AND 1-1/2" BELOW GRAB BAR.
- ALL LAVATORIES TO BE MOUNTED AT 34" MAXIMUM TO RIM OF SINK FROM FINISHED FLOOR TO TOP OF COUNTER WITH A KNEE CLEARANCE OF AT LEAST 24" FROM FINISHED FLOOR TO BOTTOM OF APRON. FAUCET TO BE ADA COMPLIANT. PROVIDE A CLEAR FLOOR AREA OF 30" x 48" IN FRONT OF LAVATORY.
- ADA COMPLIANT SOAP DISPENSER TO BE WALL MOUNTED WITH HIGHEST OPERABLE PART 44" MAXIMUM ABOVE FINISHED FLOOR WITH SPOUT OVER THE SINK.
- MIRROR TO BE 18" WIDE MINIMUM X 36" MINIMUM HIGH MOUNTED A MAXIMUM OF 40" OFF OF FINISHED FLOOR TO REFLECTIVE SURFACE OF MIRROR.
- PAPER TOWEL DISPENSER / WASTE RECEPTACLE COMBINATION TO BE MOUNTED WITH HIGHEST OPERABLE PART AT 48" ABOVE FINISHED FLOOR ADJACENT TO SINK.
- PROVIDE ACCESSIBLE COAT HANGERS MOUNTED ON DOOR AT 48" MAXIMUM ABOVE FINISHED FLOOR.

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Project

NORTH

SPACE TO PLAN LLC

145 N RIDGE AVE
AMBLER PA 19002

PLUMBING/TOILET ROOM LEGEND & NOTES

- | | |
|---|---|
| ① 42" HORIZONTAL GRAB BAR | ⑥ ADA COMPLIANT SINK |
| ② 18" VERTICAL GRAB BAR | ⑦ ADA COMPLIANT FAUCET |
| ③ 36" HORIZONTAL GRAB BAR | ⑧ ADA COMPLIANT MIRROR |
| ④ FLOOR MOUNTED TOILET | ⑨ PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBINATION UNIT, EXACT LOCATION TO BE DETERMINED. |
| ⑤ PROTRUDING PAPER DISPENSER BELOW GRAB BAR | |

NOTES:

- CATALOG CUTS FOR TOILET ROOM ACCESSORIES TO BE PROVIDED TO OWNER FOR REVIEW AND APPROVAL. ALL ACCESSORIES TO BE BRUSHED STAINLESS, UNO.
- CONTRACTOR TO PROVIDE ADA CONFORMING, WHEELCHAIR ACCESSIBLE UNDER SINK PROTECTIVE PIPE COVER AT LAVATORY SINK AS MANUFACTURED BY TRUEBRO OR APPROVED EQUAL. ALL SHARP OR ABRASIVE SURFACES SHALL BE PROTECTED UNDER SINKS.
- PROVIDE ACCESSIBLE COAT HANGERS MOUNTED ON DOOR AT 48" A.F.F.

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Scale

AS NOTED

Date

02.20.2025

Drawn By

RZ

Project Number

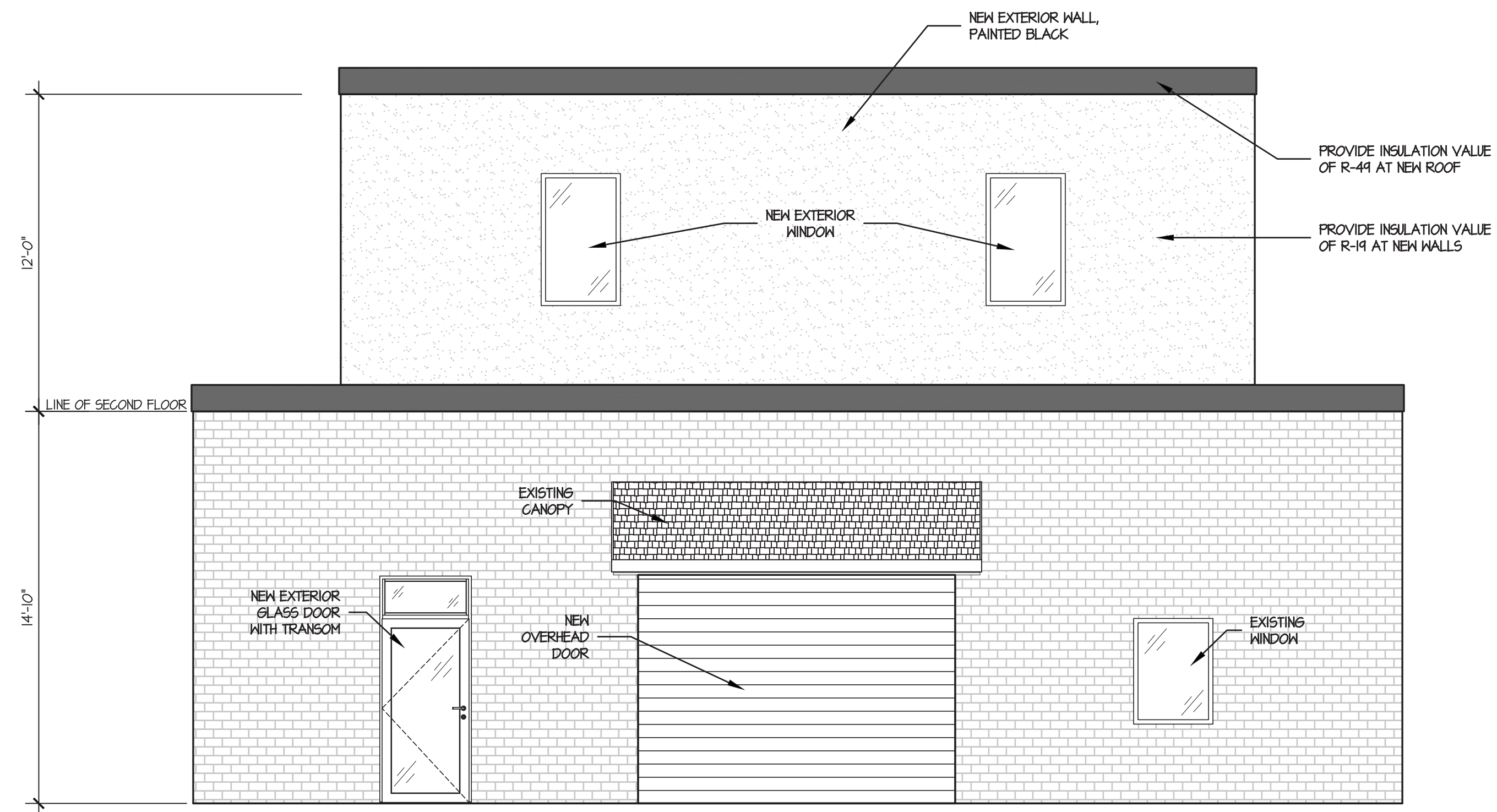
2024-151

Drawing Title

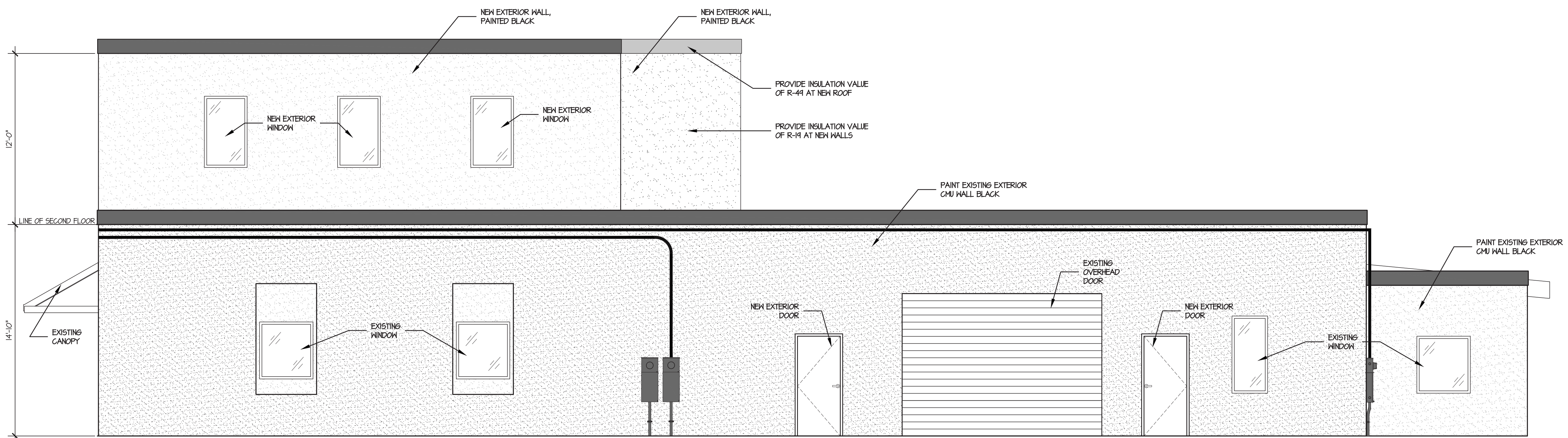
ENLARGED TOILET ROOM
PLANS AND ELEVATIONS

Drawing Number

A1.2



1 FRONT ELEVATION
1/4" = 1'-0"



2 SIDE ELEVATION
1/4" = 1'-0"

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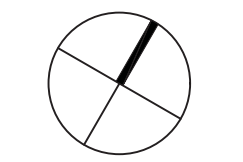


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Project NORTH

SPACE TO PLAN LLC

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Drawing Title

BUILDING ELEVATIONS

Drawing Number

A1.3

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Project **NORTH**
SPACE TO PLAN LLC

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AMBLER PA 19002

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Drawing Title
REFLECTED CEILING,

AND LIFE SAFETY PLANS

Drawing Number

A2

REFLECTED CEILING LEGEND

- NEW 2' X 4' SUSPENDED CEILING SYSTEM, INSTALL NEW GRID TO MATCH WITH EXISTING DRYWALL CEILING HEIGHT, VERIFY EXISTING CONDITIONS.
- NEW 2' X 4' LED FIXTURE.
- EXISTING LINEAR PENDANT LIGHT FIXTURE.
- BUILDING STANDARD EXHAUST FAN.
- BUILDING STANDARD SMOKE DETECTOR.
- INDICATES BUILDING STANDARD SWITCHING, CIRCUITING, ETC. PROVIDE OCCUPANCY SENSORS ON ALL OFFICES. REUSE EXISTING WHEREVER POSSIBLE, # SUPPLY WITH NEW SWITCH WHERE REQUIRED. ALL SWITCHES TO BE MOUNTED 44" A.F.F. MAXIMUM.
- 3-WAY SWITCH.

- **NOTE:**
1. ALL NEW DEVICES TO MATCH BUILDING STANDARD.
 2. ALL ICONS WITH (E) INDICATE EXISTING IN EXISTING LOCATION. ALL ICONS WITH (R) INDICATES REUSED/RELOCATED. ALL ICONS WITH (N) INDICATE NEW TO MATCH EXISTING.

REFLECTED CEILING KEY NOTES

- EXISTING OPEN CEILING REMAIN.
- PROVIDE NEW NYLAR "CLEAN ROOM" TILES AND COMMERCIAL KITCHEN "CLEAN ROOM" APPROVED GRID AND LIGHTING FIXTURES IN ALL KITCHEN AREAS.

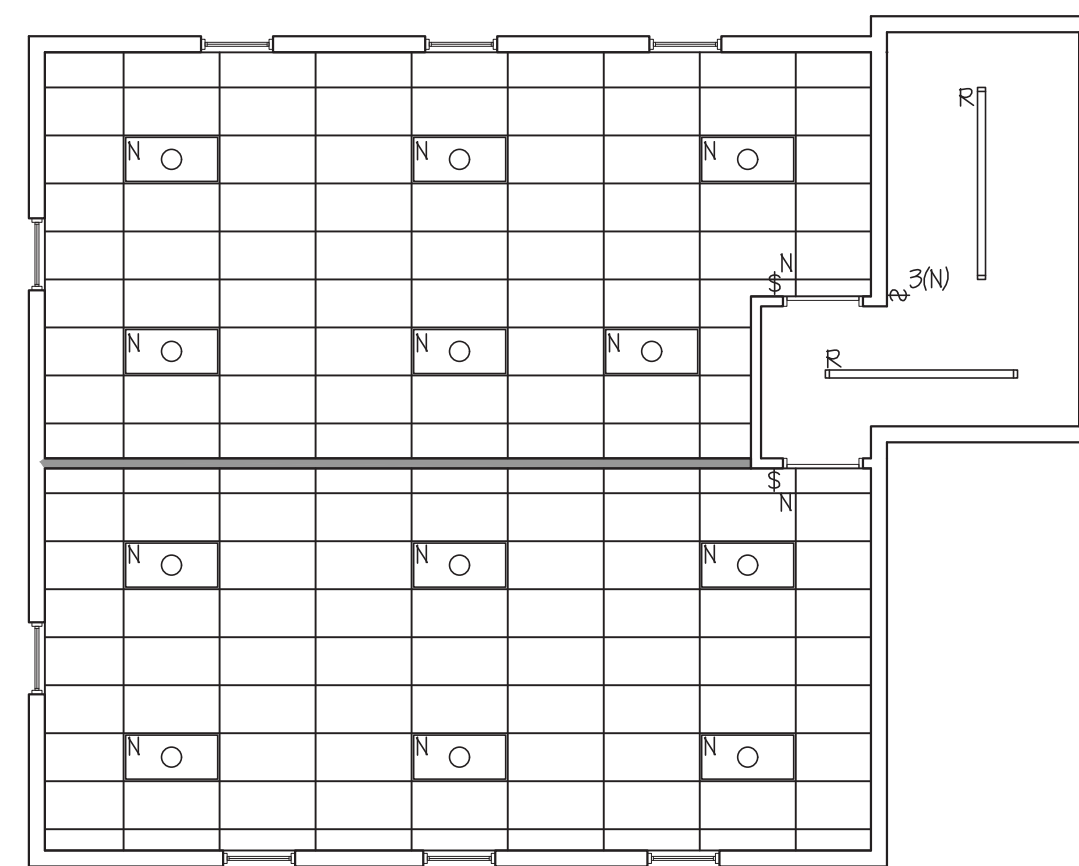
REFLECTED CEILING NOTES

1. DISCREPANCIES: NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH CEILING SYSTEMS, DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDITIONS, PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
2. COORDINATION: COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
3. CEILING TILES: DO NOT MIX NEW CEILING TILES WITH EXISTING. SALVAGE TILES FROM ONE ROOM, AREA OR SPACE TO BE USED TO REPLACE IN RECONFIGURED SPACES. REPLACE CEILING TILES WITH NEW IN AREA USED FOR SALVAGE.
4. CEILING GRID: INSTALL NEW SUSPENDED CEILING SYSTEM AT TOILET ROOMS, OFFICE AND KITCHEN AREAS.
5. LIGHT FIXTURES: EXISTING LINEAR PENDANT LIGHTS TO REMAIN AND SHALL BE CLEANED AND RELAMPED.
6. FIXTURE LOCATIONS: LIGHT FIXTURES, EXIT SIGNS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN CENTER OF INDIVIDUAL CEILING TILE UNLESS OTHERWISE NOTED.
7. DRAWING REFERENCE: THIS PLAN IS FOR CEILING FIXTURE LOCATIONS ONLY. SEE DESIGN/BUILD ELECTRICAL & MECHANICAL DRAWINGS FOR ALL CIRCUITING, PANEL SCHEDULES, BALANCING, ETC.
8. FASCIAS: FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION AND/OR ALTERATION OF HEATING, VENTING AIR CONDITIONS OR MECHANICAL DUCTS, PIPING OR OTHER EQUIPMENT, SHALL BE FORMED OF GYPSUM WALLBOARD ON FURRING CHANNELS.
9. CEILING ANGLE: PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.
10. PROTECTIVE FILM: INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOWER LENS, BAFFLE, AND THE LIKE, TO AVOID FIXTURE SOILING OR DAMAGE; FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW; LAMPS SHALL BE NEW AT PROJECT COMPLETION.
11. FIRE ALARM DEVICES: ALL FIRE ALARM DEVICES TO BE HIRED TO EXISTING ALARM PANELS AND COORDINATE WITH BUILDING FIRE PROTECTION SUBCONTRACTOR.

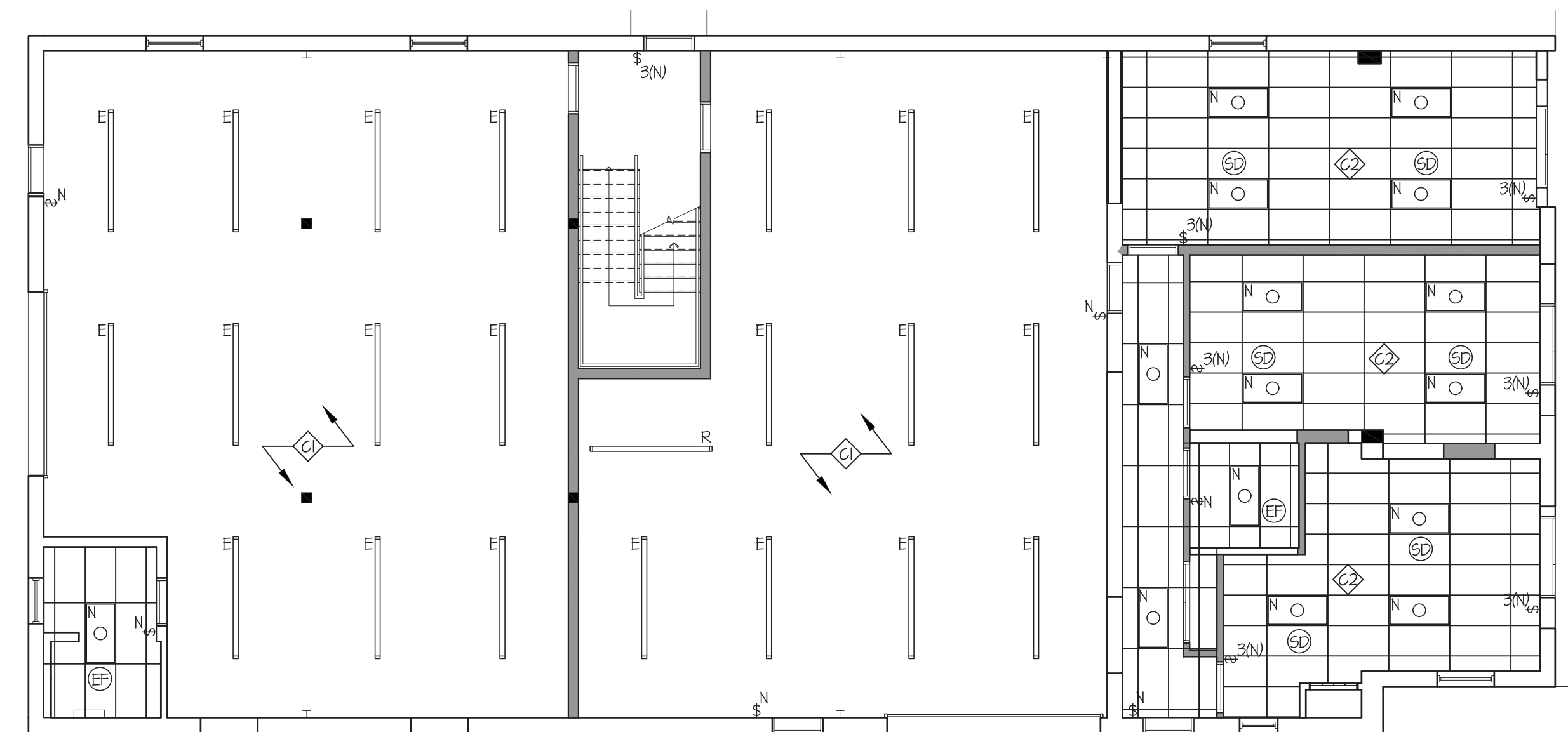
LIFE SAFETY LEGEND

- PATH OF EGRESS
- NEW ABC 10LB FIRE EXTINGUISHER. GC TO ENSURE FIRE EXTINGUISHER IS FULLY CHARGED AND OPERATIONAL AS REQUIRED PER CODE.
- EXISTING ILLUMINATED EXIT SIGN WITH EMERGENCY LIGHT BATTERY PACK.
- NEW AND EXISTING BUILDING STANDARD WALL/CEILING MOUNTED ILLUMINATED EXIT SIGN. SYMBOLS WITH ARROW INDICATE DIRECTIONAL ILLUMINATED EXIT SIGN.
- BUILDING STANDARD WALL MOUNTED EMERGENCY LIGHT BATTERY PACK TO BE INSTALLED.
- BUILDING STANDARD WALL MOUNTED HORN STROBE DEVICE, MOUNTED @ 80" A.F.F. PROVIDE STROBE ONLY DEVICES AS REQUIRED.

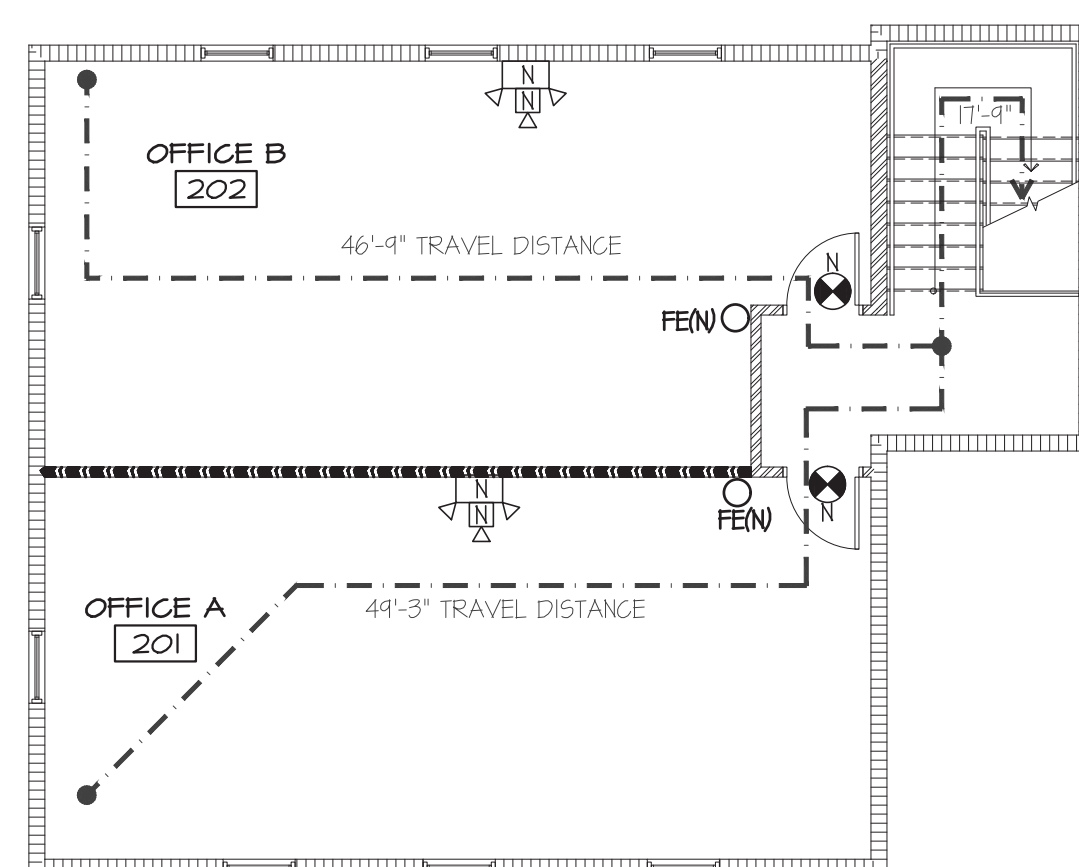
- **NOTE:**
1. ALL NEW DEVICES TO MATCH BUILDING STANDARD.
 2. ALL ICONS WITH (E) INDICATE EXISTING IN EXISTING LOCATION. ALL ICONS WITH (R) INDICATES REUSED/RELOCATED. ALL ICONS WITH (N) INDICATE NEW TO MATCH EXISTING.



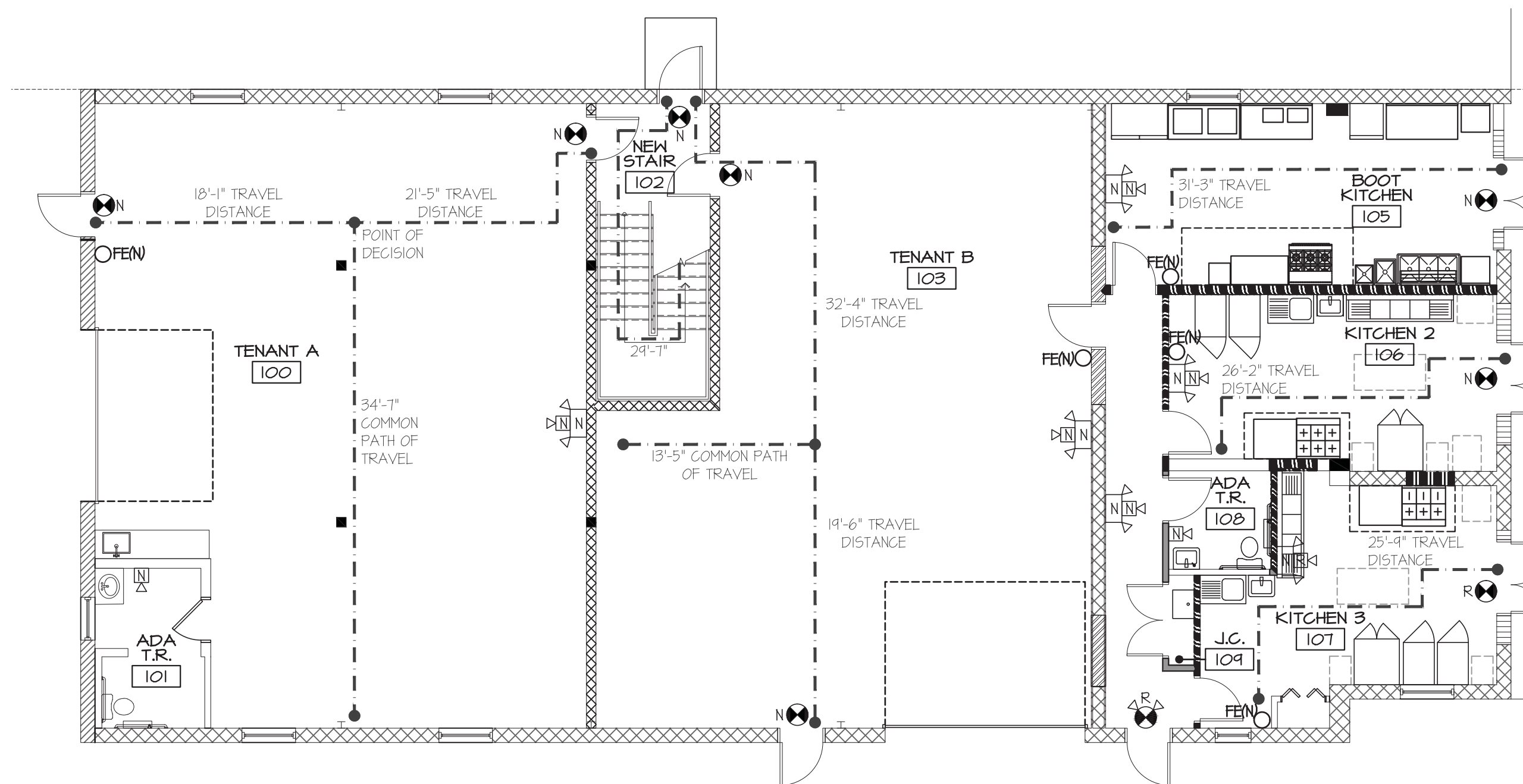
1 SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



2 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



3 SECOND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



4 FIRST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"

ELECTRICAL LEGEND

- ⊕ DUPLEX ELECTRICAL RECEPTACLE.
 - ⊕ GROUND FAULT INTERCEPT DUPLEX ELECTRICAL RECEPTACLE. INSTALL 44" A.F.F.
 - ⊕ DEDICATED DUPLEX ELECTRICAL RECEPTACLE. EXACT SPECIFICATIONS TO BE PROVIDED BY TENANT PRIOR TO START OF CONSTRUCTION.
 - ⊕ EXITING QUAD ELECTRICAL RECEPTACLE.
 - ▼ DATA RECEPTACLE. EXACT SPECIFICATIONS AND REQUIREMENTS TO BE PROVIDED BY TENANT PRIOR TO THE START OF CONSTRUCTION.
- **NOTE:**
1. ALL NEW RECEPTACLES & COVER PLATES TO MATCH EXISTING BUILDING.
 2. TELEDATA PLAN SHOWN IS SCHEMATIC ONLY. FINAL PLAN BY TENANT'S VENDOR. G.C. TO PROVIDE BACK BOX WITH RING AND RILL STRING ABOVE ACT.
 3. ALL ICONS WITH (E) INDICATE EXISTING IN EXISTING LOCATION. ALL ICONS WITH (R) INDICATES REUSED/RELOCATED. ALL ICONS WITH (N) INDICATE NEW TO MATCH EXISTING.
 4. ANY NEW RECEPTACLES @ MILLWORK TO BE INSTALLED 44" A.F.F. TO THE TOP OF RECEPTACLE, U.N.O.

ELECTRICAL NOTES

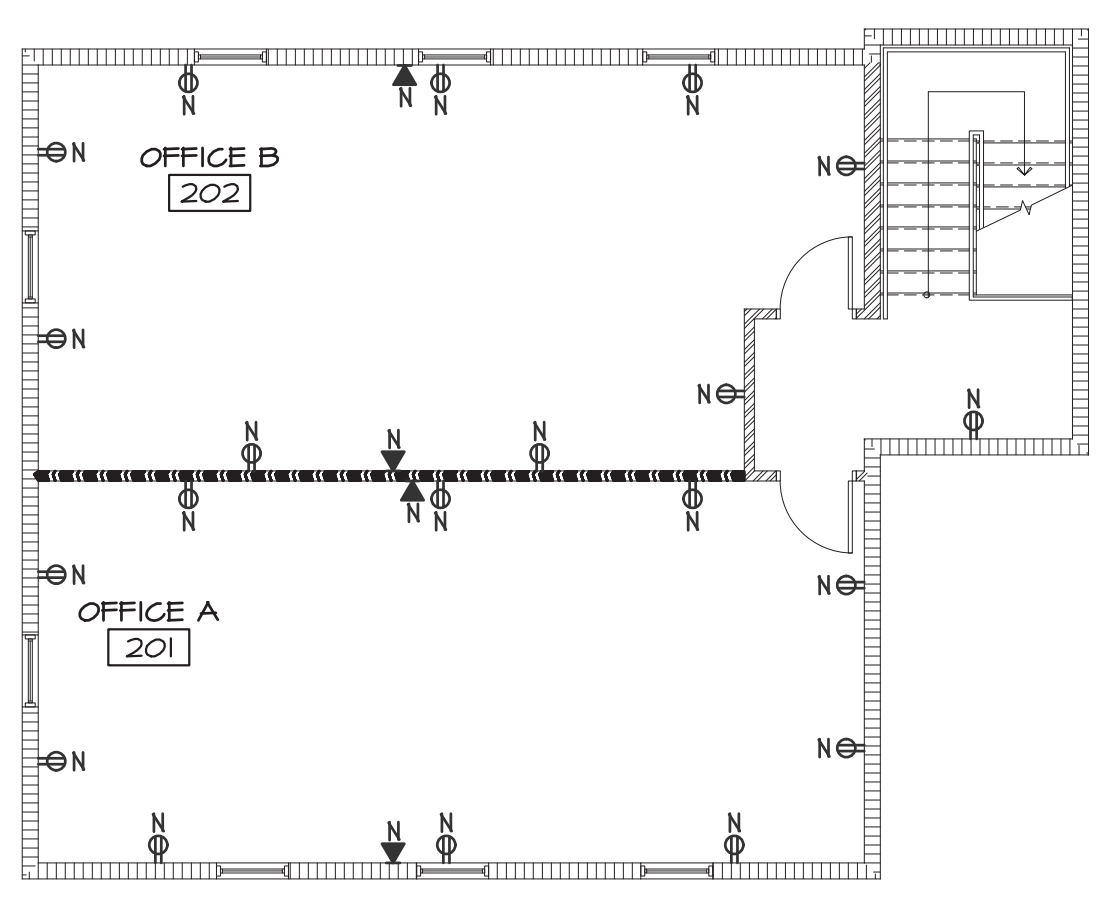
1. DISCREPANCIES: ARCHITECTURAL DRAWINGS DETERMINE LOCATION OF ALL OUTLETS AND TAKE PRECEDENCE OVER ALL OTHERS, U.N.O. ELECTRICAL DESIGN-BUILD POWER PLAN SHALL GOVERN THE WIRING LAYOUT AND INSTALLATION IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. MOUNTING HEIGHT: INSTALL WALL MOUNTED OUTLETS 18" ABOVE FINISHED FLOOR, U.N.O. HEIGHTS SHALL BE DETERMINED FROM FINISHED FLOOR TO THE CENTERLINE OF COVERPLATE, INSTALLED VERTICALLY, GROUNDING POLE AT BOTTOM, U.N.O. OUTLETS MOUNTED HIGHER THAN 21" SHALL BE HORIZONTALLY, GROUNDING POLE AT LEFT, U.N.O. QUAD OUTLETS TO BE INSTALLED VERTICALLY, U.N.O.
3. MOUNTING: OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0", MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF INDICATED.
4. DIMENSIONS: INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVERPLATE OR MONUMENT; CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.N.O.; GANG COVERPLATES SHALL BE ONE-PIECE TYPE, U.N.O.
5. CIRCUITS: CONTRACTOR TO SEPARATE ALL CIRCUITS WITHIN THE SPACE PER TENANT'S NEW LAYOUT.
6. POWER: PROVIDE ALL THE NECESSARY POWER FOR CIRCUITS, PANELS, TRANSFORMER, ETC.
7. SLAB PENETRATIONS: ALL NEW FLOOR SLAB PENETRATIONS FOR CONDUIT SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
8. FURNITURE: FURNITURE, IF SHOWN, IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT, U.N.O.
9. COORDINATION: COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
10. COVER PLATES AND DEVICES: ALL DEVICES AND COVER PLATES TO BE SAME COLOR. COLOR TO BE WHITE. PATCH ALL UNSALABLE OUTLETS AND TELE/DATA PORTS.
11. CONDUIT: 2" CONDUIT/ SPACE FOR TENANT PROVIDED VGA, HDMI, DATA, ETC. FROM FLOOR OUTLET TO WALL MOUNTED TELEVISION.
12. VOICE AND DATA WIRING: VOICE AND DATA IS THE RESPONSIBILITY OF THE TENANT. CONTRACTOR TO PROVIDE RINGS AND STRINGS IN JUNCTION BOX ONLY. INSTALLATION WILL NEED TO BE COORDINATED TENANT'S VENDOR.

STANDARD EQUIPMENT LIST

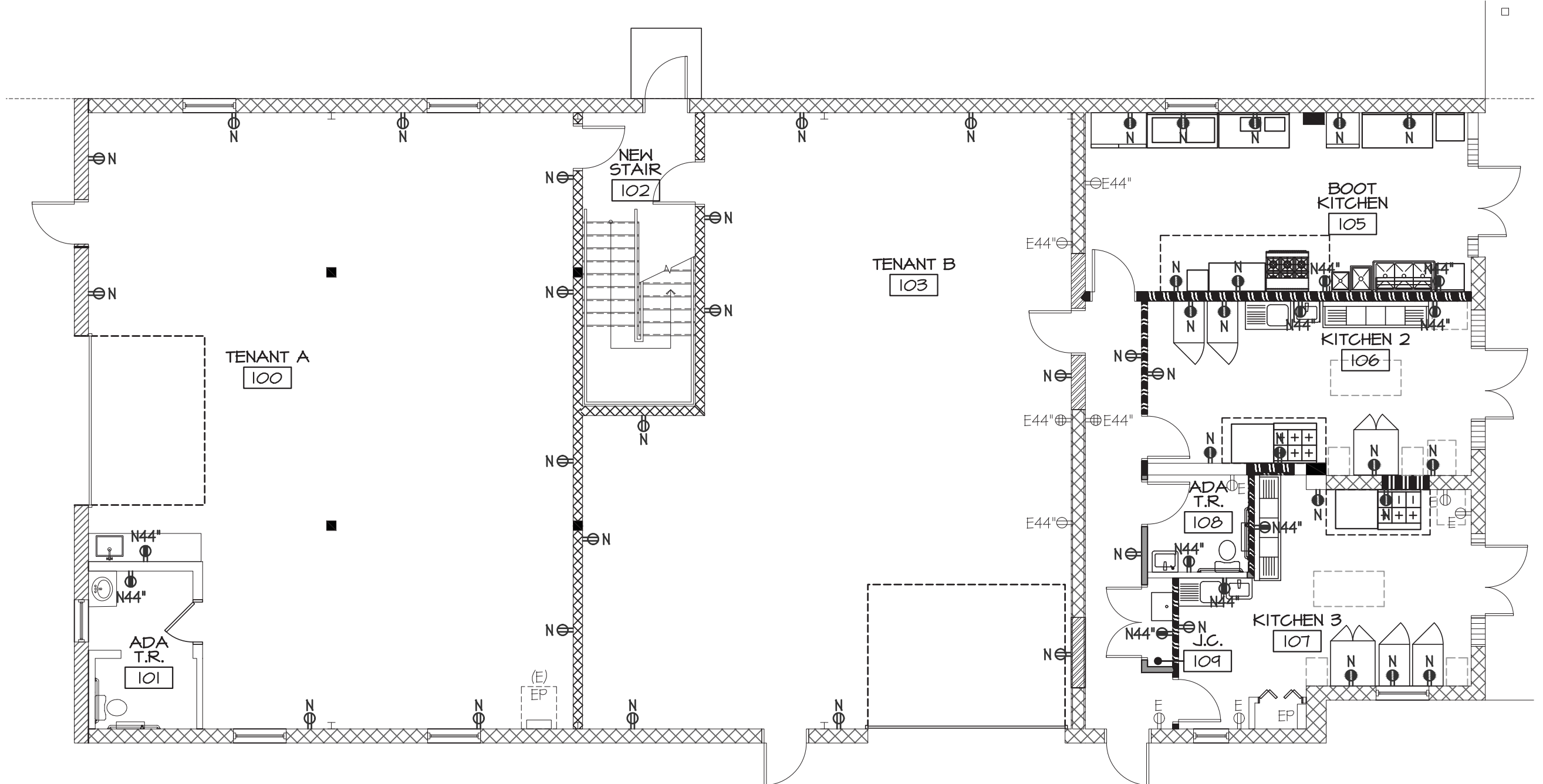
- ① DOUBLE FULL SIZE CONVECTION OVEN. MODEL, AND GAS/ ELECTRIC TBD.
- ② COMMERCIAL RANGE (6 OPEN BURNERS). MODEL, AND GAS/ELECTRIC TBD.
- ③ COUNTERTOP CHARBROILER. MODEL, AND GAS/ ELECTRIC TBD.
- ④ REACH-IN REFRIGERATOR. MODEL, AND GAS OR ELECTRIC TBD.
- ⑤ REACH-IN FREEZER. MODEL, AND GAS OR ELECTRIC TBD.
- ⑥ THREE (3) COMPARTMENT SINK. MODEL TBD.
- ⑦ STAINLESS STEEL PREP SINK WITH DRAINBOARD. MODEL TBD.
- ⑧ ADA COMPLIANT WALL MOUNTED HAND SINK. MODEL TBD.
- ⑨ WORK TABLE, STAINLESS STEEL TOP. MODEL TBD.
- ⑩ MOBILE BAKER'S RACKS. MODEL TBD.
- ⑪ STAINLESS STEEL PREP TABLE. MODEL TBD.
- ⑫ ANSUL HOOD. MODEL TBD.
- ⑬ JANITOR'S SINK. MODEL TBD.
- ⑭ WALK IN FREEZER. MODEL TBD.

BOOT EQUIPMENT LIST

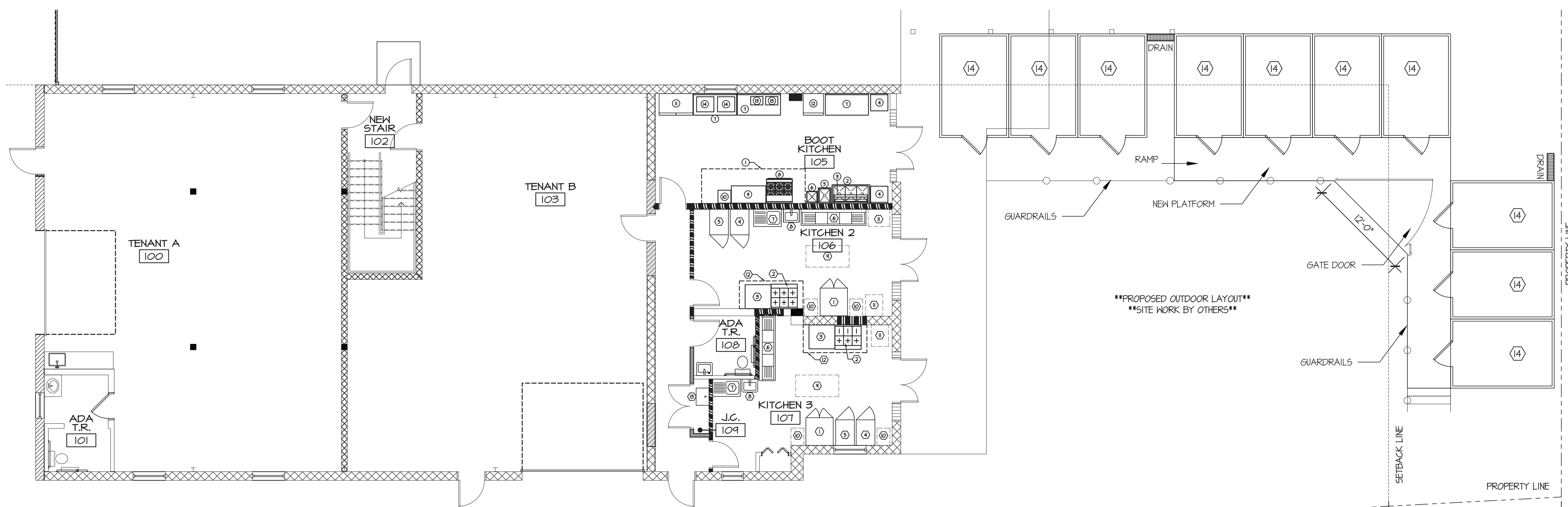
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|---|--|
| ① 12'-0" COMMERCIAL GREASE HOOD | ⑨ 48" GAS KETTLE. MODEL, AND GAS/ ELECTRIC TBD. |
| ② 3-BAY SINK W/ SPRAYER | ⑩ 18" GAS RING BURNER. MODEL, AND GAS/ ELECTRIC TBD. |
| ③ 55 DRYING RACK | ⑪ 2-DOOR REACH-IN FREEZER |
| ④ 55 WORKTOP W/ UNDER SHELF | ⑫ 1-DOOR REACH-IN REFRIGERATOR |
| ⑤ 18" PREP SINK | ⑬ SAUCE FILLING MACHINES |
| ⑥ 15" WALL MOUNTED HAND SINK W/ SPASHGUARD | ⑭ VACUUM SEALER |
| ⑦ 60" 55 WORKTOP W/ UNDER SHELF | |
| ⑧ 6-BURNER RANGE. MODEL, AND GAS/ ELECTRIC TBD. | |



1 SECOND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"



3 FIRST FLOOR EQUIPMENT PLAN
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ELECTRICAL AND EQUIPMENT PLANS

Drawing Number

A3