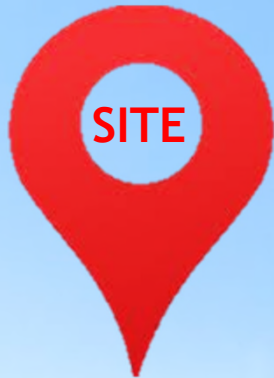


# FOR LEASE

11007 Jones Rd, Houston, TX 77070



- **Base Rent: \$2.50 SF/MO**
- **NNN: Est. \$0.40**
- **AVAIL: 4,272 SF**
- **Second Gen Space great for Professional Office. Frontage provides Excellent Visibility and Accessibility for Retail, Restaurant, Mobile Phone, etc.**
- **High Traffic**
- **Surrounded by numerous rooftops**
- **Frontage: +/- 128 FT on Jones Rd**
- **Approx. Miles: 0.1 - FM 1960, 4.3 - HWY 249, 3.9 - Hwy 6 and 3 - Beltway 8, 22.4 - Downtown Houston, 18.6 - The Galleria, and 21.5 - George Bush Intercontinental Airport**



**Danny Nguyen, CCIM**

M - (713) 478-2972

O - (713) 270-5400

[dannynguyen@dncommercial.net](mailto:dannynguyen@dncommercial.net)

[www.dncommercial.net](http://www.dncommercial.net)





Jones Rd

SITE

FM 1960



N Eldridge Pkwy

Jones Rd

N Gessner Rd



Windfern Rd



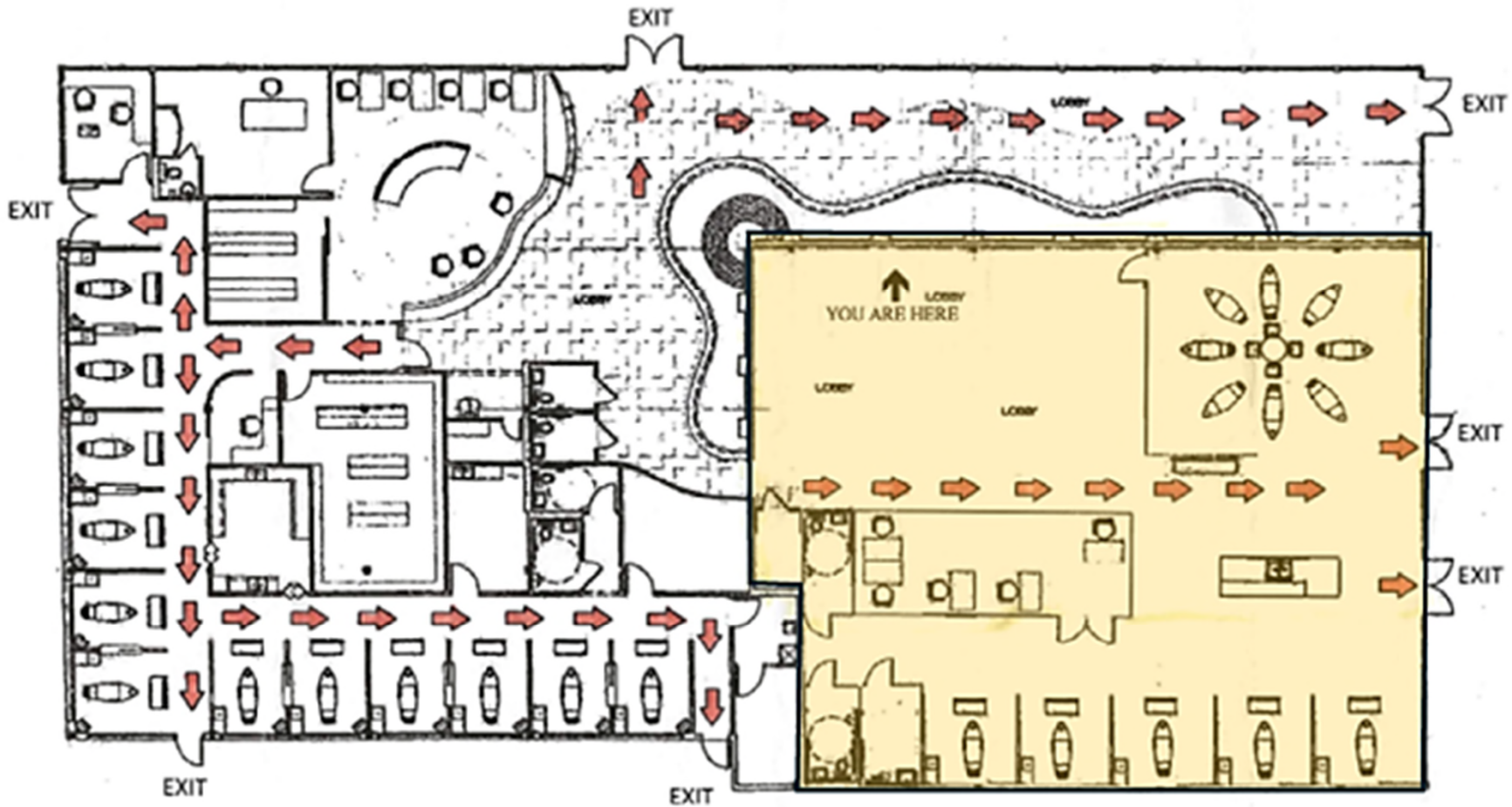
Urban Air Trampoline and Adventure Park







# FLOOR PLAN



**Leasable Space**

Jones Rd

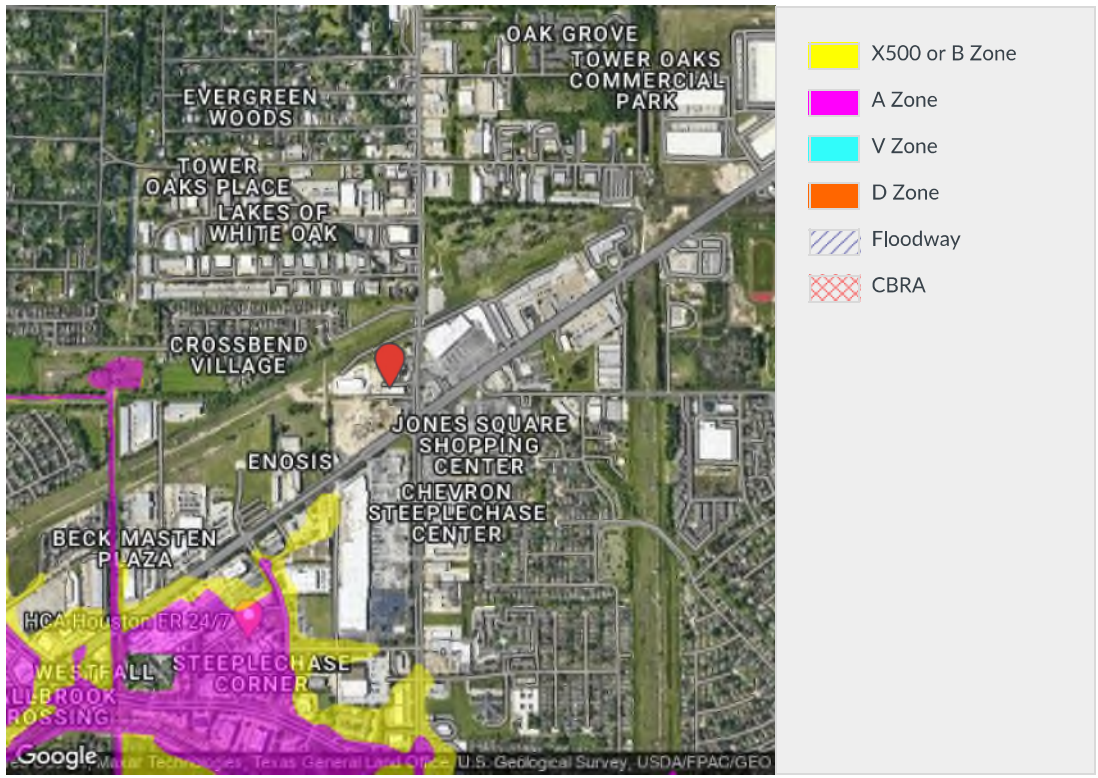
11007 JONES RD HOUSTON, TX 77070-6301

LOCATION ACCURACY: Excellent

**Flood Zone Determination Report**

**Flood Zone Determination: OUT**

COMMUNITY	480296	PANEL	0440N
PANEL DATE	November 15, 2019	MAP NUMBER	48201C0440N





# Definitions of FEMA Flood Zone Designations

Zones indicating mandatory purchase of flood insurance in participating communities

ZONE	DESCRIPTION
A	Areas subject to a one percent or greater annual chance of flooding in any given year. Because detailed hydraulic analyses have not been performed on these areas, no base flood elevations are shown.
AE, A1 - A30	Areas subject to a one percent or greater annual chance of flooding in any given year. Base flood elevations are shown as derived from detailed hydraulic analyses (Zone AE is used on new and revised maps in place of Zones A1 - A30).
AH	Areas subject to a one percent or greater annual chance of shallow flooding in any given year. Flooding is usually in the form of ponding with average depths between one and three feet. Base flood elevations are shown as derived from detailed hydraulic analyses.
AO	Areas subject to a one percent or greater annual chance of shallow flooding in any given year. Flooding is usually in the form of sheet flow with average depths between one and three feet. Average flood depths are shown as derived from detailed hydraulic analyses.
AR	Areas subject to a one percent or greater annual chance of flooding in any given year due to a temporary increase in flood hazard from a flood control system that provides less than its previous level of protection.
A99	Areas subject to a one percent or greater annual chance of flooding in any given year, but will ultimately be protected by a flood protection system under construction. No base flood elevations or flood depths are shown.
V	Areas along coasts subject to a one percent or greater annual chance of flooding in any given year that also have additional hazards associated with velocity wave action. Because detailed hydraulic analyses have not been performed on these areas, no base flood elevations are shown.
VE, V1 - V30	Areas along coasts subject to a one percent or greater annual chance of flooding in any given year that include additional hazards associated with velocity wave action. Base flood elevations are shown as derived from detailed hydraulic analyses. (Zone VE is used on new and revised maps in place of Zones V1 - V30.)

*CoreLogic® Flood Services has led the industry in providing fast, reliable and accurate flood risk data for 20 years. More than one million users rely on us to assess risk; support underwriting, investment and marketing decisions; prevent fraud; and improve performance in their daily operations.*

Zones indicating non-mandatory (but available) purchase of flood insurance in participating communities

ZONE	DESCRIPTION
D	Areas of undetermined flood hazard where flooding is possible.
X, C	Areas of minimal flood hazard from the principal source of flood in the area and determined to be outside the 0.2 percent annual chance floodplain. (Zone X is used on new and revised maps in place of Zone C.)
X (Shaded), X500, B	Areas of moderate flood hazard from the principal source of flood in the area, determined to be within the limits of one percent and 0.2 percent annual chance floodplain. (Shaded Zone X is used on new and revised maps in place of Zone B.)
XFUT	For communities which elect to incorporate future floodplain conditions into their FIRMs, the future flood zone shown on the new map indicates the areas which the community believes will become the one percent annual chance floodplain (or the future Special Flood Hazard Area), due to projected urban development and land use.
None	Areas of undetermined flood hazard that do not appear on a Flood Insurance Rate Map or Flood Hazard Boundary Map, where flooding is possible.

FOR MORE INFORMATION, PLEASE CALL 800.447.1772  
OR VISIT [www.floodcert.com](http://www.floodcert.com)



# Executive Summary

11007 Jones Rd, Houston, Texas, 77070  
 Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri  
 Latitude: 29.93370  
 Longitude: -95.58546

	0 - 5 minute	5 - 10 minute	10 - 15 minute
<b>Population</b>			
2010 Population	39,421	118,362	262,392
2020 Population	41,151	127,867	296,222
2023 Population	41,331	128,406	300,560
2028 Population	41,235	129,666	302,142
2010-2020 Annual Rate	0.43%	0.78%	1.22%
2020-2023 Annual Rate	0.13%	0.13%	0.45%
2023-2028 Annual Rate	-0.05%	0.20%	0.11%
2020 Male Population	48.0%	48.2%	48.8%
2020 Female Population	52.0%	51.8%	51.2%
2020 Median Age	34.7	36.1	36.6
2023 Male Population	49.1%	49.1%	49.3%
2023 Female Population	50.9%	50.9%	50.7%
2023 Median Age	34.6	36.2	35.7

In the identified area, the current year population is 300,560. In 2020, the Census count in the area was 296,222. The rate of change since 2020 was 0.45% annually. The five-year projection for the population in the area is 302,142 representing a change of 0.11% annually from 2023 to 2028. Currently, the population is 49.3% male and 50.7% female.

<b>Median Age</b>			
The median age in this area is 35.7, compared to U.S. median age of 39.1.			
<b>Race and Ethnicity</b>			
2023 White Alone	31.5%	39.2%	39.8%
2023 Black Alone	23.4%	19.1%	15.4%
2023 American Indian/Alaska Native Alone	1.1%	0.9%	1.1%
2023 Asian Alone	11.8%	12.6%	12.1%
2023 Pacific Islander Alone	0.1%	0.1%	0.1%
2023 Other Race	15.6%	12.6%	15.5%
2023 Two or More Races	16.5%	15.4%	16.1%
2023 Hispanic Origin (Any Race)	37.5%	31.6%	36.2%

Persons of Hispanic origin represent 36.2% of the population in the identified area compared to 19.4% of the U.S. population. Persons of Hispanic Origin may be of any race. The Diversity Index, which measures the probability that two people from the same area will be from different race/ethnic groups, is 86.7 in the identified area, compared to 72.1 for the U.S. as a whole.

<b>Households</b>			
2023 Wealth Index	60	96	113
2010 Households	14,708	45,221	89,408
2020 Households	15,513	48,487	102,575
2023 Households	15,538	48,925	104,603
2028 Households	15,634	49,781	106,132
2010-2020 Annual Rate	0.53%	0.70%	1.38%
2020-2023 Annual Rate	0.05%	0.28%	0.60%
2023-2028 Annual Rate	0.12%	0.35%	0.29%
2023 Average Household Size	2.64	2.61	2.87

The household count in this area has changed from 102,575 in 2020 to 104,603 in the current year, a change of 0.60% annually. The five-year projection of households is 106,132, a change of 0.29% annually from the current year total. Average household size is currently 2.87, compared to 2.88 in the year 2020. The number of families in the current year is 77,642 in the specified area.

**Data Note:** Income is expressed in current dollars. Housing Affordability Index and Percent of Income for Mortgage calculations are only available for areas with 50 or more owner-occupied housing units. The Gini index measures the extent to which the distribution of income or consumption among individuals or households within an economy deviates from a perfectly equal distribution. A Gini index of 0 represents perfect equality, while an index of 100 implies perfect inequality.  
**Source:** U.S. Census Bureau. Esri forecasts for 2023 and 2028. Esri converted Census 2010 into 2020 geography and Census 2020 data.



# Executive Summary

11007 Jones Rd, Houston, Texas, 77070  
 Drive time bands: 0-5, 5-10, 10-15 minute radii

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	0 - 5 minute	5 - 10 minute	10 - 15 minute
<b>Mortgage Income</b>			
2023 Percent of Income for Mortgage	22.2%	19.9%	19.4%
<b>Median Household Income</b>			
2023 Median Household Income	\$61,065	\$73,383	\$82,584
2028 Median Household Income	\$69,996	\$82,262	\$93,873
2023-2028 Annual Rate	2.77%	2.31%	2.60%
<b>Average Household Income</b>			
2023 Average Household Income	\$82,900	\$105,276	\$116,232
2028 Average Household Income	\$93,967	\$118,651	\$131,126
2023-2028 Annual Rate	2.54%	2.42%	2.44%
<b>Per Capita Income</b>			
2023 Per Capita Income	\$31,161	\$39,956	\$40,186
2028 Per Capita Income	\$35,618	\$45,375	\$45,749
2023-2028 Annual Rate	2.71%	2.58%	2.63%
<b>GINI Index</b>			
2023 Gini Index	39.8	39.2	38.9

### Households by Income

Current median household income is \$82,584 in the area, compared to \$72,603 for all U.S. households. Median household income is projected to be \$93,873 in five years, compared to \$82,410 for all U.S. households

Current average household income is \$116,232 in this area, compared to \$107,008 for all U.S. households. Average household income is projected to be \$131,126 in five years, compared to \$122,048 for all U.S. households

Current per capita income is \$40,186 in the area, compared to the U.S. per capita income of \$41,310. The per capita income is projected to be \$45,749 in five years, compared to \$47,525 for all U.S. households

<b>Housing</b>			
2023 Housing Affordability Index	98	111	109
2010 Total Housing Units	15,971	48,495	95,525
2010 Owner Occupied Housing Units	7,156	26,277	64,080
2010 Renter Occupied Housing Units	7,552	18,938	25,336
2010 Vacant Housing Units	1,263	3,274	6,117
2020 Total Housing Units	16,700	51,701	107,807
2020 Owner Occupied Housing Units	6,981	26,216	68,117
2020 Renter Occupied Housing Units	8,532	22,271	34,458
2020 Vacant Housing Units	1,145	3,200	5,120
2023 Total Housing Units	16,829	52,252	110,220
2023 Owner Occupied Housing Units	7,862	26,581	71,348
2023 Renter Occupied Housing Units	7,676	22,344	33,255
2023 Vacant Housing Units	1,291	3,327	5,617
2028 Total Housing Units	16,988	53,229	112,045
2028 Owner Occupied Housing Units	8,021	27,268	72,713
2028 Renter Occupied Housing Units	7,613	22,513	33,419
2028 Vacant Housing Units	1,354	3,448	5,913

### Socioeconomic Status Index

2023 Socioeconomic Status Index	42.1	48.2	48.7
---------------------------------	------	------	------

Currently, 64.7% of the 110,220 housing units in the area are owner occupied; 30.2%, renter occupied; and 5.1% are vacant. Currently, in the U.S., 58.5% of the housing units in the area are owner occupied; 31.7% are renter occupied; and 9.8% are vacant. In 2020, there were 107,807 housing units in the area and 4.7% vacant housing units. The annual rate of change in housing units since 2020 is 0.68%. Median home value in the area is \$266,826, compared to a median home value of \$308,943 for the U.S. In five years, median value is projected to change by 3.12% annually to \$311,170.

**Data Note:** Income is expressed in current dollars. Housing Affordability Index and Percent of Income for Mortgage calculations are only available for areas with 50 or more owner-occupied housing units. The Gini index measures the extent to which the distribution of income or consumption among individuals or households within an economy deviates from a perfectly equal distribution. A Gini index of 0 represents perfect equality, while an index of 100 implies perfect inequality.  
**Source:** U.S. Census Bureau. Esri forecasts for 2023 and 2028. Esri converted Census 2010 into 2020 geography and Census 2020 data.

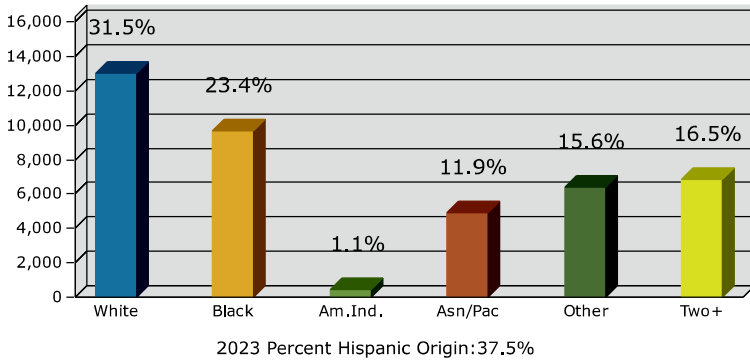


# Graphic Profile

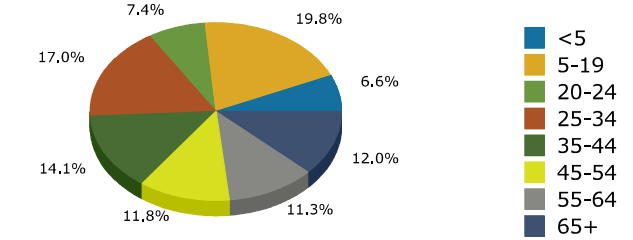
11007 Jones Rd, Houston, Texas, 77070  
 Drive time band: 0 - 5 minute radius

Prepared by Esri  
 Latitude: 29.93370  
 Longitude: -95.58546

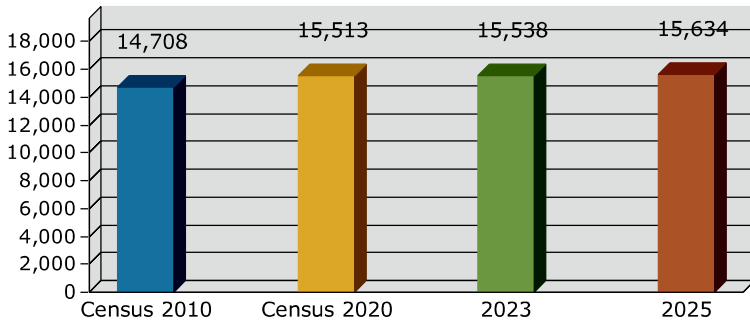
2023 Population by Race



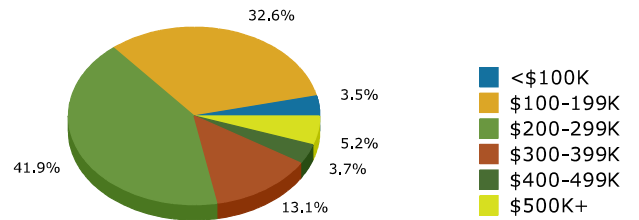
2023 Population by Age



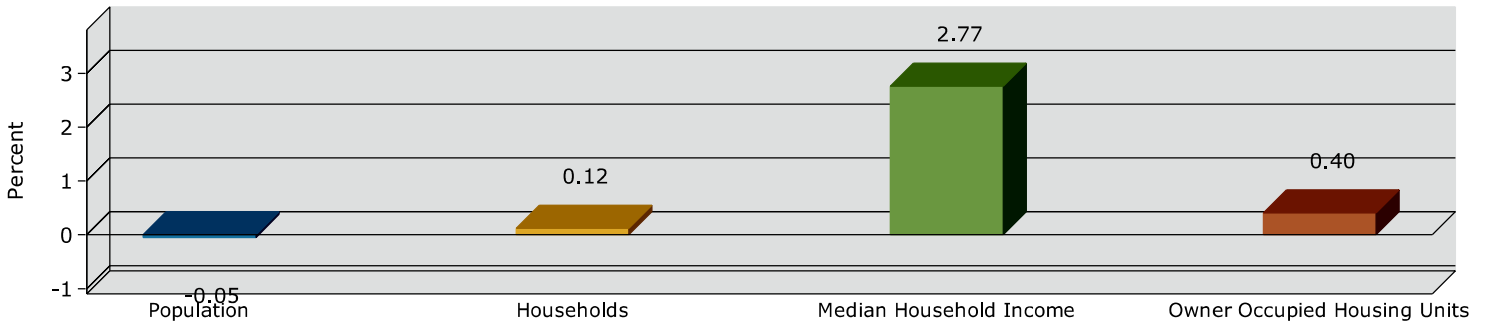
Households



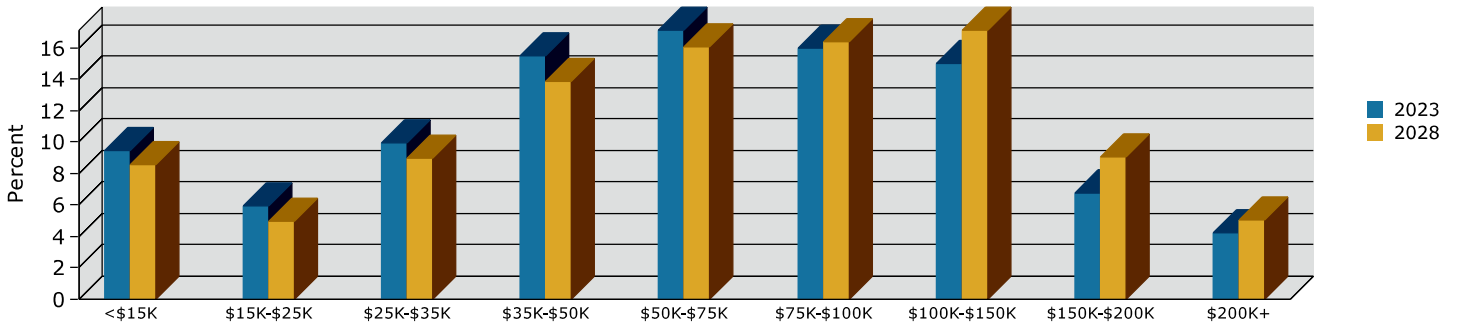
2023 Home Value



2023-2028 Annual Growth Rate



Household Income



Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

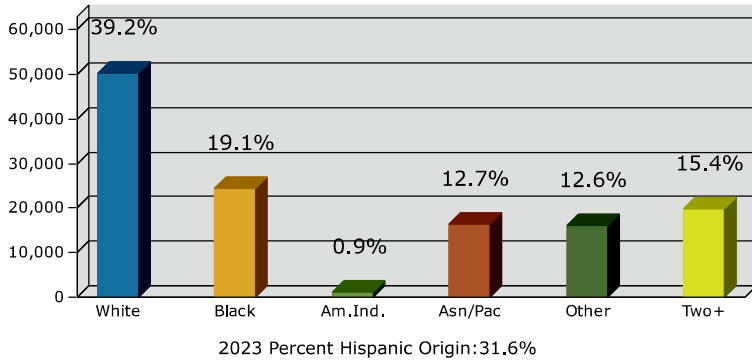


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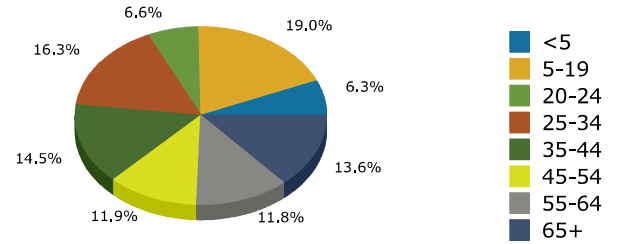
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 Drive time band: 5 - 10 minute radius

Prepared by Esri  
 Latitude: 29.93370  
 Longitude: -95.58546

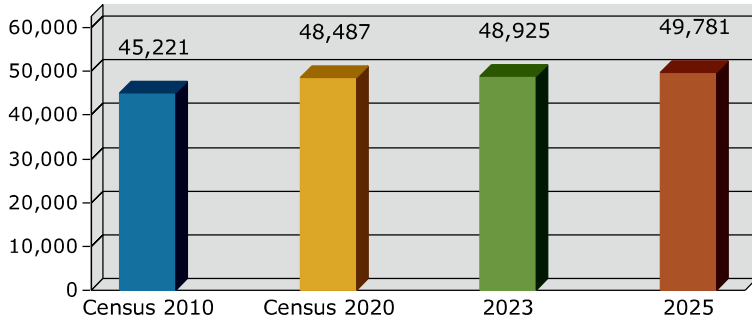
2023 Population by Race



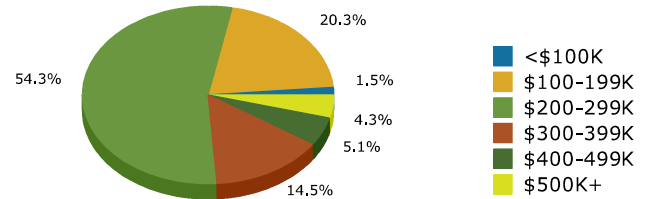
2023 Population by Age



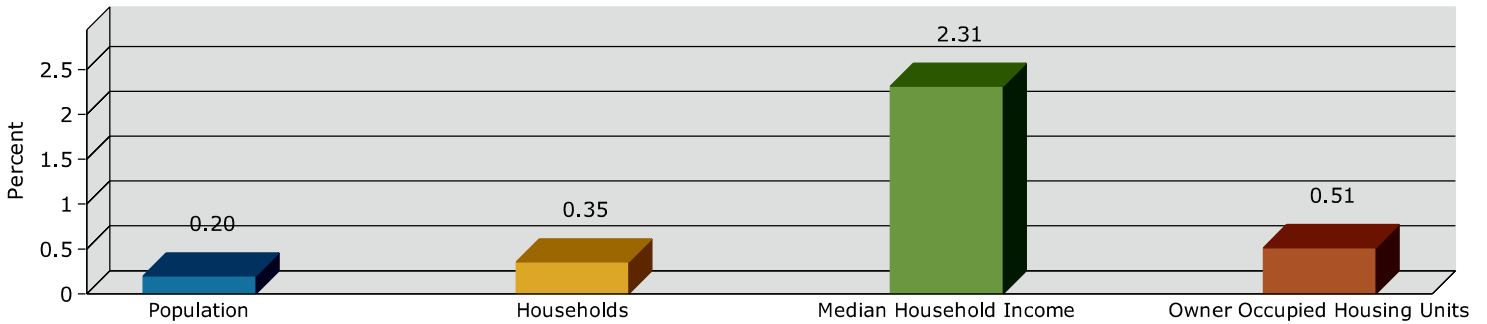
Households



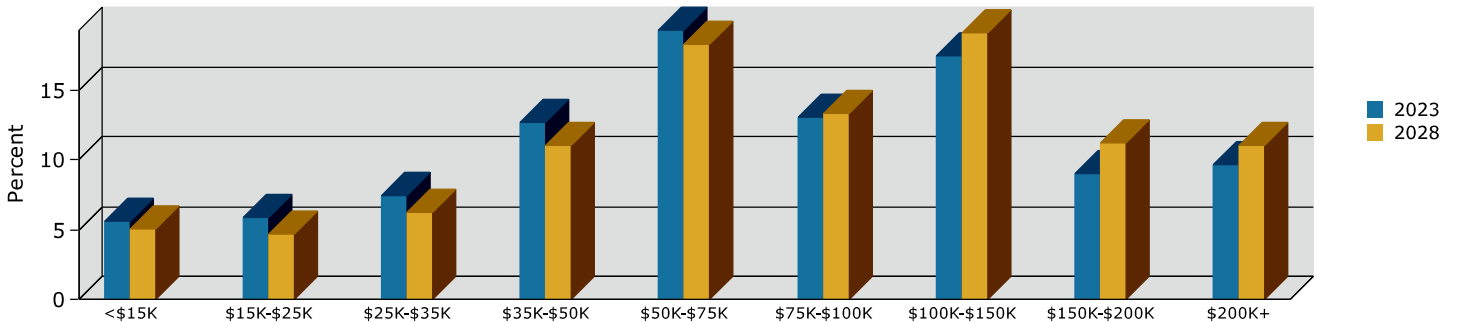
2023 Home Value



2023-2028 Annual Growth Rate



Household Income



Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

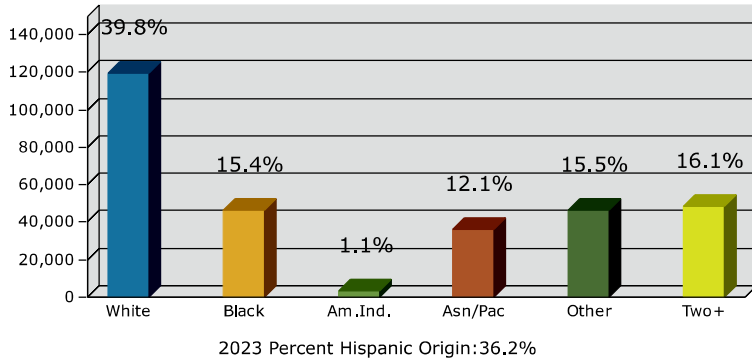


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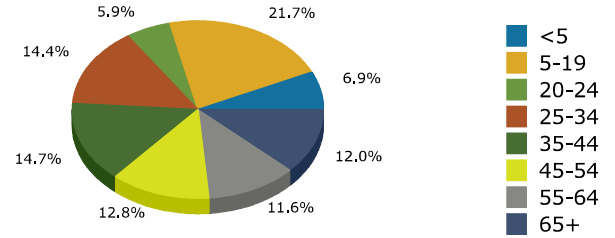
11007 Jones Rd, Houston, Texas, 77070  
 Drive time band: 10 - 15 minute radius

Prepared by Esri  
 Latitude: 29.93370  
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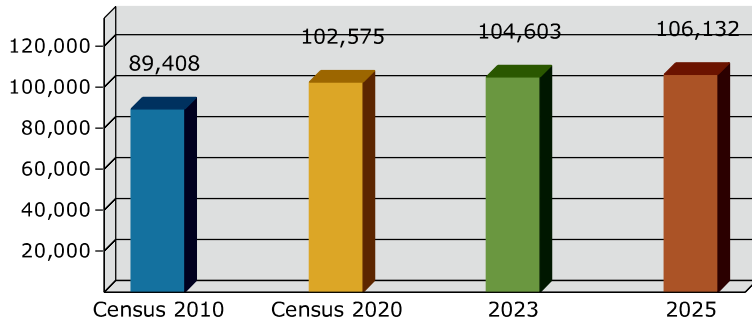
2023 Population by Race



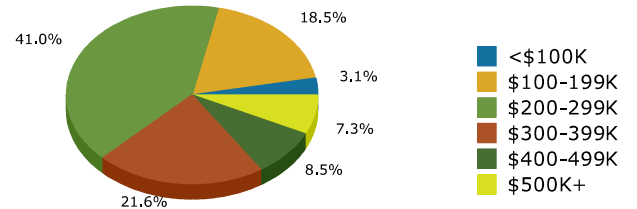
2023 Population by Age



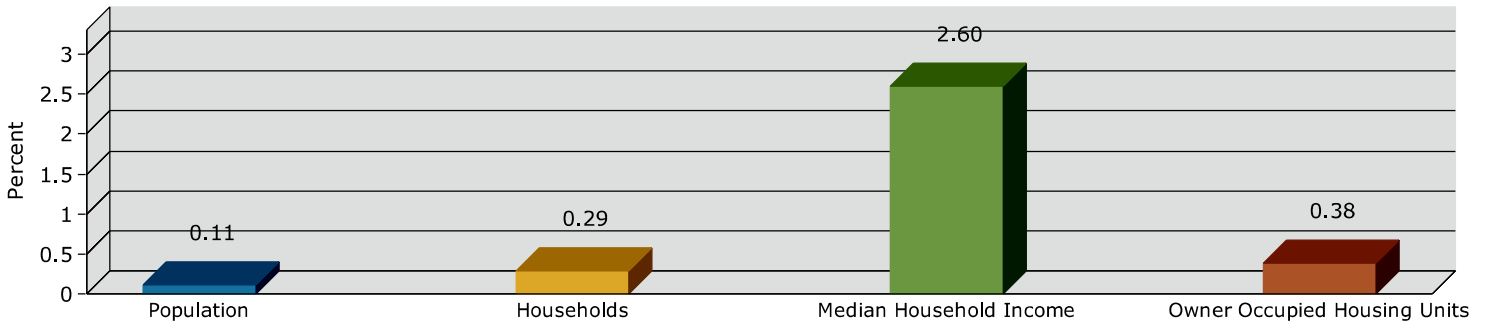
Households



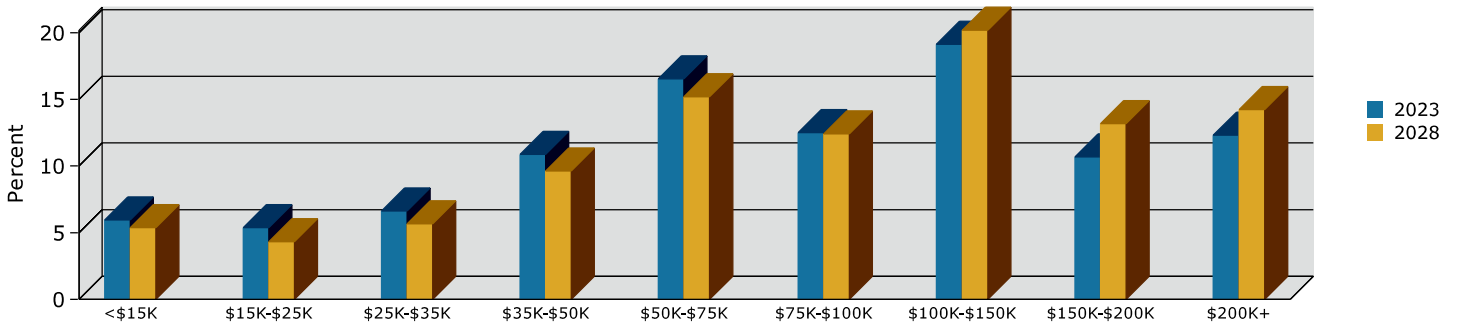
2023 Home Value



2023-2028 Annual Growth Rate



Household Income

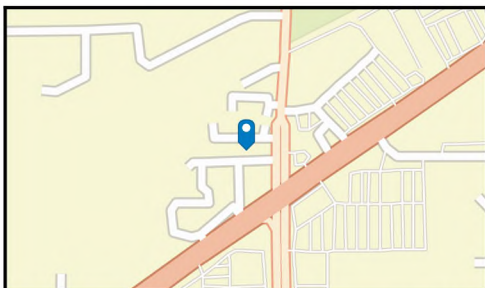
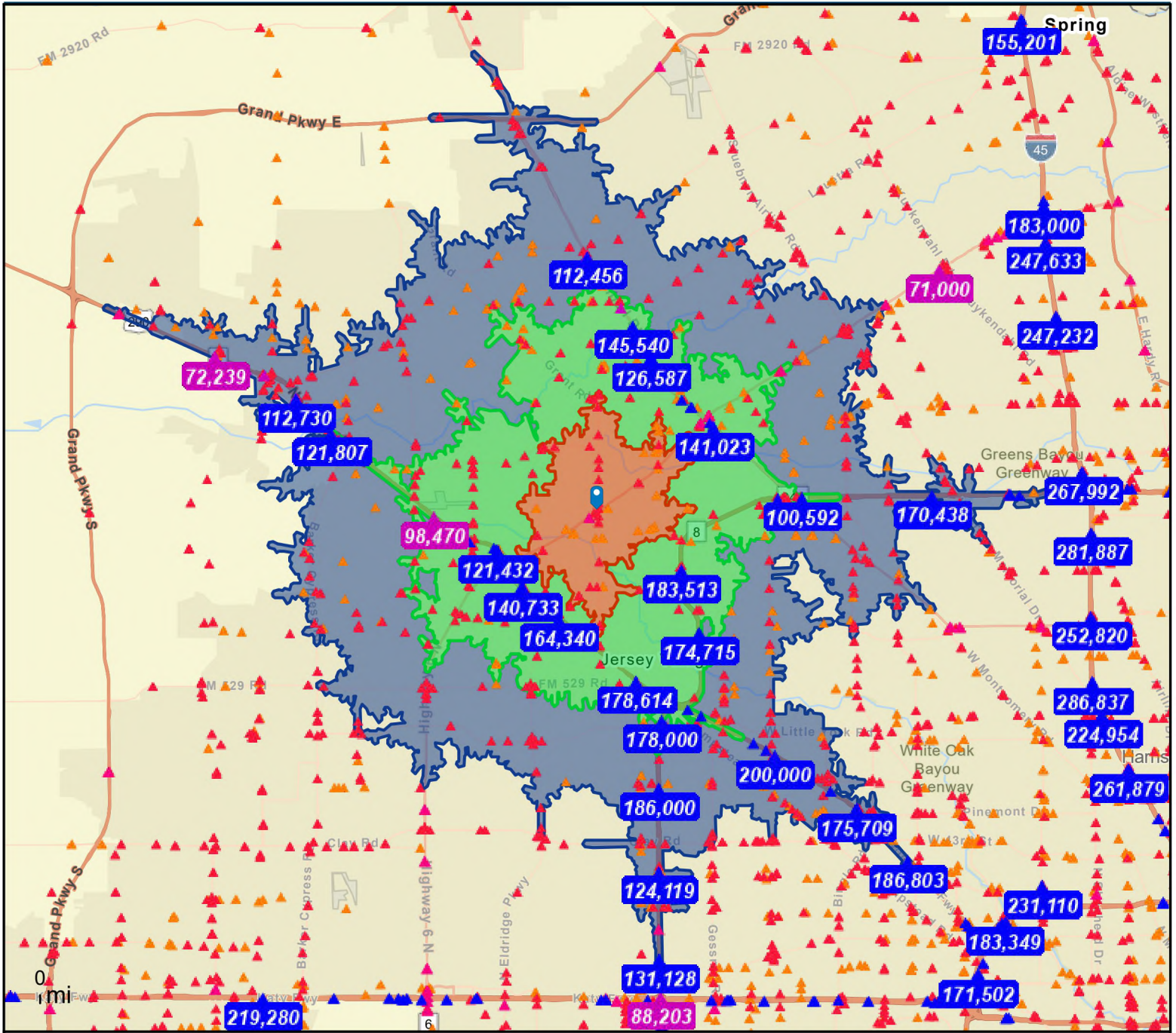


Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

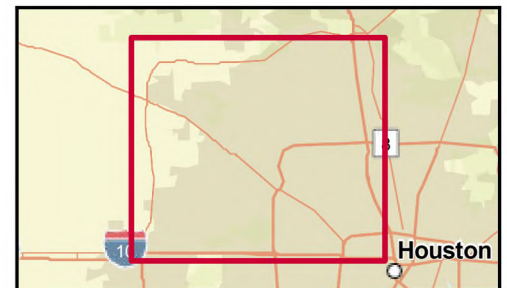
# Traffic Count Map

11007 Jones Rd, Houston, Texas, 77070  
 Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri  
 Latitude: 29.93370  
 Longitude: -95.58546



- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
  - ▲ 6,001 - 15,000
  - ▲ 15,001 - 30,000
  - ▲ 30,001 - 50,000
  - ▲ 50,001 - 100,000
  - ▲ More than 100,000 per day



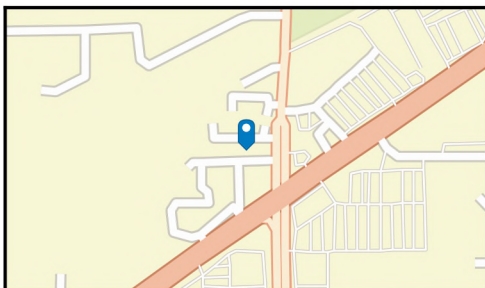
Source: ©2023 Kalibrate Technologies (Q3 2023).

January 22, 2024

# Traffic Count Map - Close Up

11007 Jones Rd, Houston, Texas, 77070  
 Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri  
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- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
  - ▲ 6,001 - 15,000
  - ▲ 15,001 - 30,000
  - ▲ 30,001 - 50,000
  - ▲ 50,001 - 100,000
  - ▲ More than 100,000 per day



Source: ©2023 Kalibrate Technologies (Q3 2023).



# Traffic Count Profile

11007 Jones Rd, Houston, Texas, 77070  
Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri  
Latitude: 29.93370  
Longitude: -95.58546

Distance:	Street:	Closest Cross-street:	Year of Count:	Count:
0.03	Jones Road	FM 1960 Rd W (0.06 miles S)	2019	29,464
0.12	Farm to Market 1960	Jones Rd (0.1 miles NE)	2019	41,986
0.12	Jones Rd	Jones Rd W (0.03 miles N)	2006	35,990
0.16	Jones Road	Jones Rd (0.1 miles N)	2019	25,919
0.23	Windfern Rd	Bammel Rd (0.08 miles NW)	2006	10,250
0.24	Bammel Rd	Steepletop Dr (0.12 miles SW)	2006	51,040
0.29	Neeshaw Dr	Jones Rd (0.12 miles E)	2006	1,030
0.30	Jones Rd	Bridgedown Dr (0.14 miles S)	2006	36,820
0.39	Tower Oaks Blvd	Jones Rd (0.08 miles E)	2006	1,710
0.58	Tower Oaks Blvd	Glenora Dr (0.07 miles W)	2006	1,770
0.60	Summer Harvest Dr	Windfern Rd (0.11 miles N)	2006	2,120
0.60	Jones Rd	Forrest Valley Dr (0.03 miles S)	2013	33,347
0.64	Fallbrook Dr	Jones Rd (0.08 miles E)	2006	14,610
0.64	Fallbrook Drive	Foxrow Ln (0.03 miles E)	2019	8,730
0.64	Fallbrook Dr	Foxrow Ln (0.05 miles E)	2006	14,420
0.70	Fallbrook Drive	FM 1960 Rd W (0.09 miles NW)	2019	11,896
0.73	Fallbrook Dr	FM 1960 Rd W (0.09 miles NW)	2006	11,170
0.77	Fallbrook Dr	Glenora Dr (0.07 miles NW)	2014	9,487
0.78	Fallbrook Drive	Fallbrook Dr (0.06 miles NW)	2019	10,044
0.79	Woodedge Dr	Jones Rd (0.22 miles W)	2011	3,510
0.80	Bobcat Rd	Windfern Rd (0.03 miles S)	2006	2,910
0.85	Jones Rd	Green Creek Dr (0.07 miles N)	2006	32,930
0.85	Lazy Meadows Dr	Waving Fields Dr (0.02 miles SE)	2006	1,400
0.87	Bobcat Rd	Cougan (0.11 miles S)	2006	3,120
0.92	Greencreek Dr	Windlake Dr (1.02 miles E)	2011	1,700
0.95	Walnut Glen Dr	Lazy Meadows Dr (0.02 miles NE)	2001	820
0.95	Lazy Meadows Dr	Walnut Glen Dr (0.0 miles SE)	2006	930
0.96	Mile Dr	Glenora Dr (0.04 miles W)	2011	270
0.97	Fallbrook Drive	Skybird Dr (0.04 miles SW)	2019	7,707
0.97	Fallbrook Dr	Skybird Dr (0.04 miles W)	2006	11,210

**Data Note:**The Traffic Profile displays up to 30 of the closest available traffic counts within the largest radius around your site. The years of the counts in the database range from 2022 to 2000. Esri removes counts that are older than 2000 from the Kalibrate provided database. Traffic counts are identified by the street on which they were recorded, along with the distance and direction to the closest cross-street. Distances displayed as 0.00 miles (due to rounding), are closest to the site. A traffic count is defined as the two-way Average Daily Traffic (ADT) that passes that location.  
**Source:** ©2023 Kalibrate Technologies (Q3 2023).



## Information About Brokerage Services

*Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.*

### TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

### A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

### A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

**AS AGENT FOR OWNER (SELLER/LANDLORD):** The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

**AS AGENT FOR BUYER/TENANT:** The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

**AS AGENT FOR BOTH - INTERMEDIARY:** To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
  - that the owner will accept a price less than the written asking price;
  - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
  - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

**AS SUBAGENT:** A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

### TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

**LICENSE HOLDER CONTACT INFORMATION:** This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

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Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
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Designated Broker of Firm	License No.	Email	Phone
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Sales Agent/Associate's Name	License No.	Email	Phone
Buyer/Tenant/Seller/Landlord Initials		Date	

Regulated by the Texas Real Estate Commission

TXR-2501

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IABS 1-0 Date

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