

FOR LEASE

12315 Bellaire Blvd, Houston, TX 77072



PRICE: \$1.55 SF/MO
NNN: \$500/MO

AVAIL:
Unit #300: +/-2,266 SF, 2 Story
Unit #500: +/-2,266 SF, 2 Story

Ste. would be ideal for learning/after school space, medical, dental, health/wellness center, church, or other business. The first and second floors have individual restrooms. Long time Tenants include Dac Hung BBQ, Bellaire Ginseng and Herb, and Victory Pharmacy.

Approx. 4.4 miles to Sam Houston Tollway, 3.4 miles to Hwy 6, and 5.7 miles to Westpark Tollway
Located in the International District

Bellaire Blvd



Cook Rd



American Medical Institute



Tammie Vu

M - (713) 865-2362

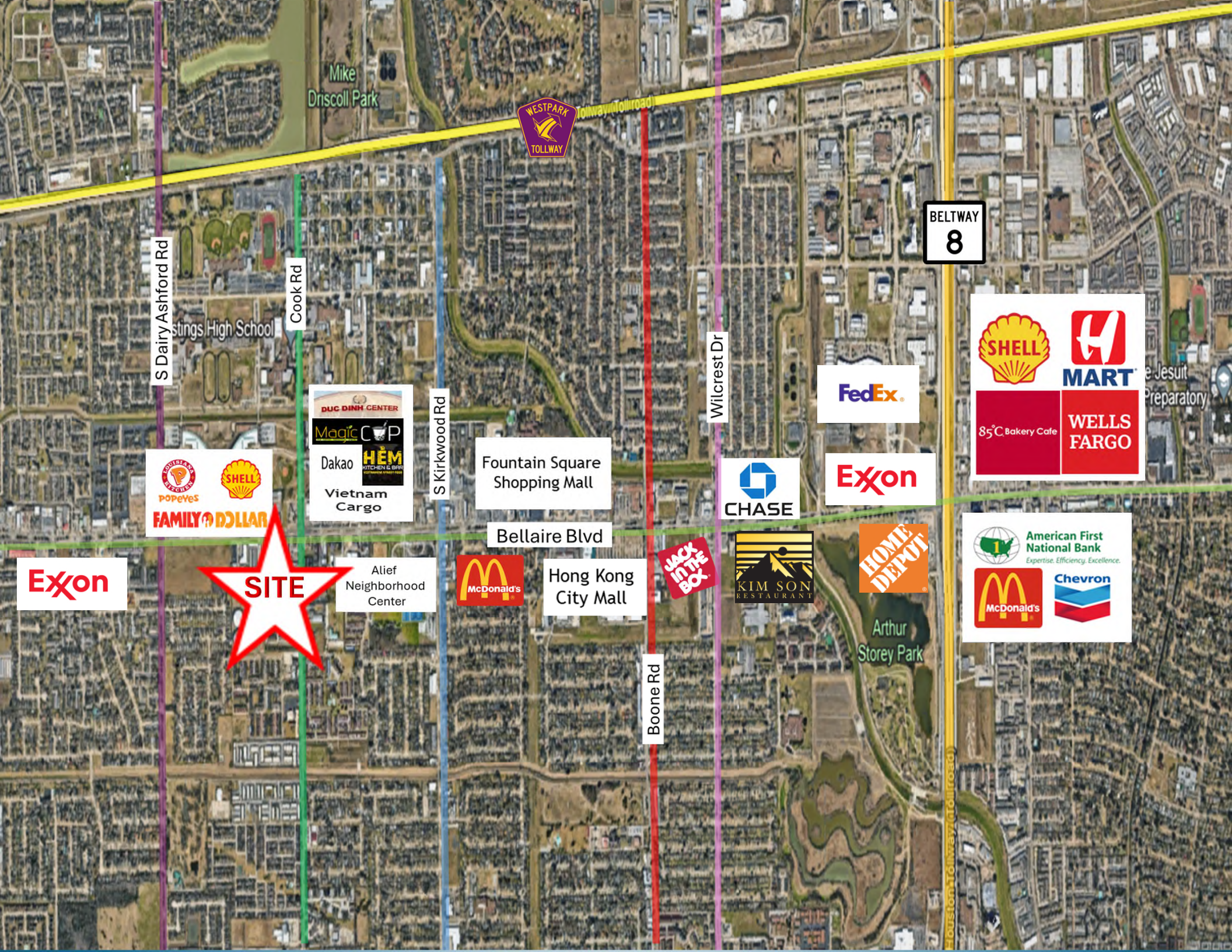
O - (713) 270-5400

tammievu@dncommercial.net

www.dncommercial.net



The information contained herein while based upon data supplied by sources deemed reliable, is subject to errors and omissions and is not, in any way, warranted by Danny Nguyen Commercial, or by any agent, independent associate, or employee of Danny Nguyen Commercial. This information is subject to change without notice.



Mike Driscoll Park



Tollway (Toll road)

BELTWAY 8

S Dairy Ashford Rd

Cook Rd

Stings High School

S Kirkwood Rd

Wilcrest Dr



Fountain Square Shopping Mall



St. Ignace Jesuit Preparatory



Alief Neighborhood Center



Hong Kong City Mall



Bellaire Blvd



Boone Rd

Arthur Storey Park

Custom Tollway (Toll road)

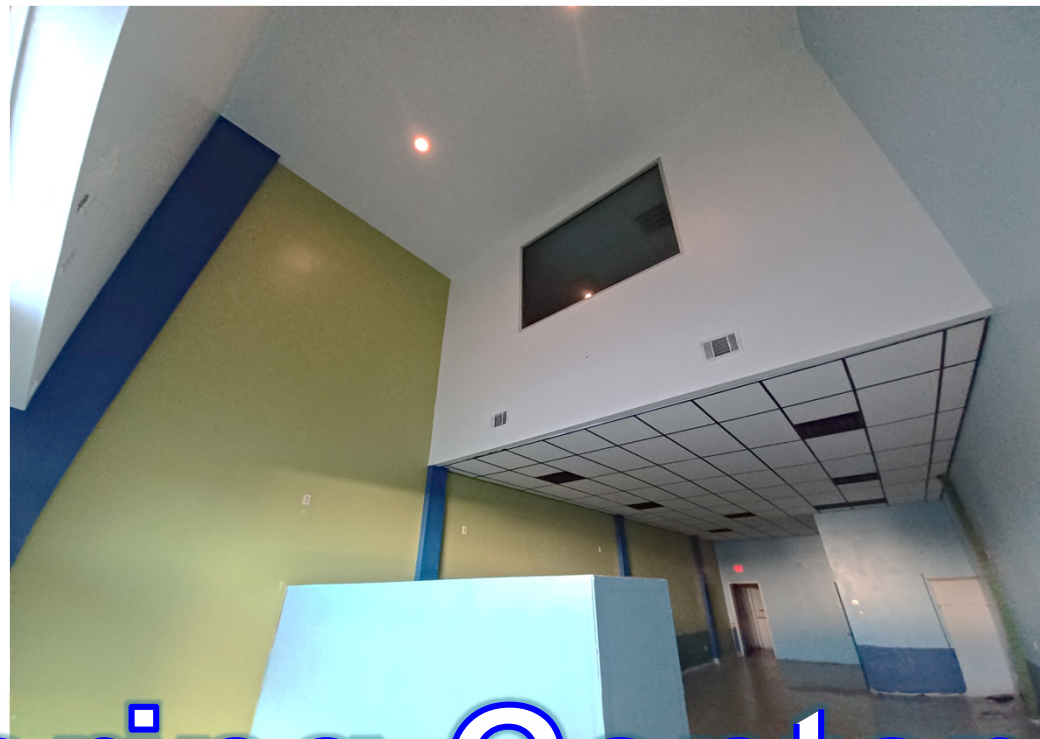
2 Story Unit - #500
+/- 2,266 SF



2 Story Unit - #300
+/- 2,266 SF



Unit # 300



Former Tutoring Center

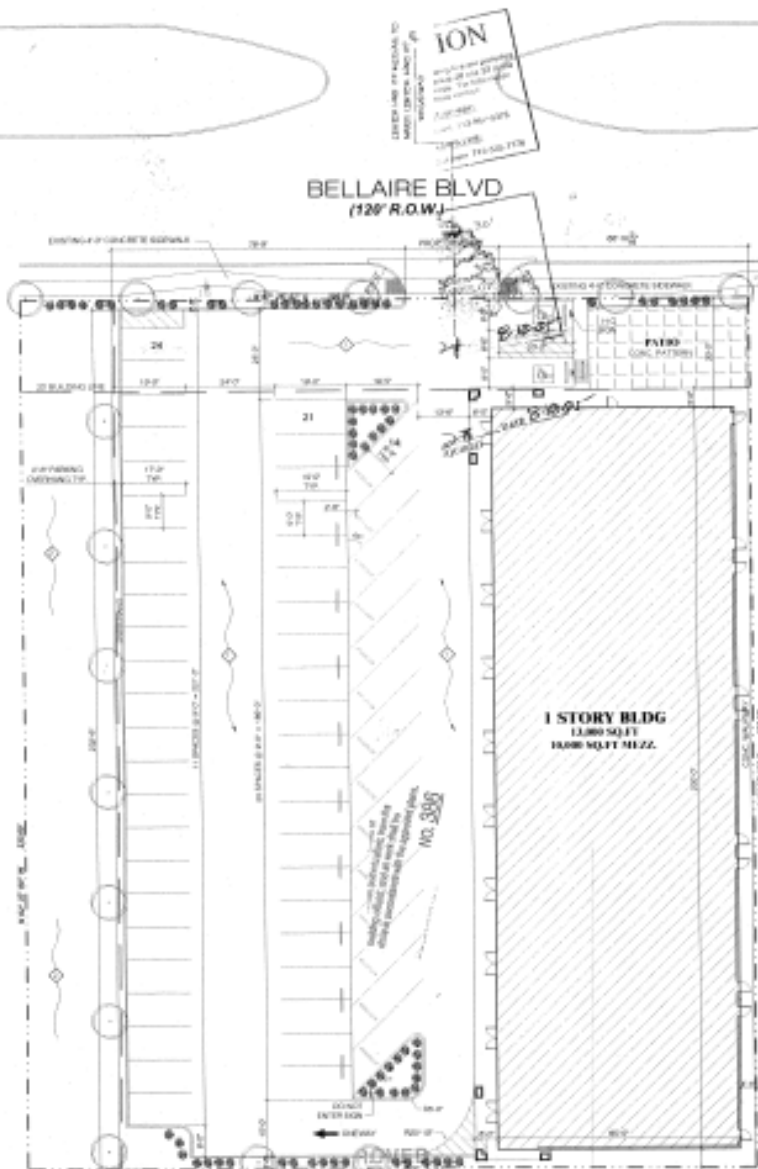


Unit # 500



Former Church





BELLAIRE BLVD
(120' R.O.W.)

1 STORY BLDG
13,800 SQ FT
1,600 SQ FT MEZZ.

PARKING ANALYSIS

1 STORY RETAIL STRIP - 13,000 SQ FT.
1 ST FLOOR RETAIL - 13,000 x 4 = 52 SPACES
8,1000 SQ FT MEZZ. FOR ATTIC SPACES
PARKING REQUIRED = 52 SPACES
PARKING PROVIDED = 52 SPACES

LANDSCAPE ANALYSIS

STREET FRONTAGE THIS FRONT & LEFT

355.11' - 0" TREES

PARKING TREE - 0" TREES

TOTAL PROVIDED - 7 + 8 = 15 LIVES OAK - 1-1/2" DIA. MIN.

TOTAL SUPPLY PROVIDED - 13 x 18 = 234 APPROX. BOWWOOD

LEGEND:

- ◆ CONCRETE FINISHMENT REF. CIVIL FOR SET.
- ◇ GRASS
- SLABS OF SHIPLES
- LIME CRK

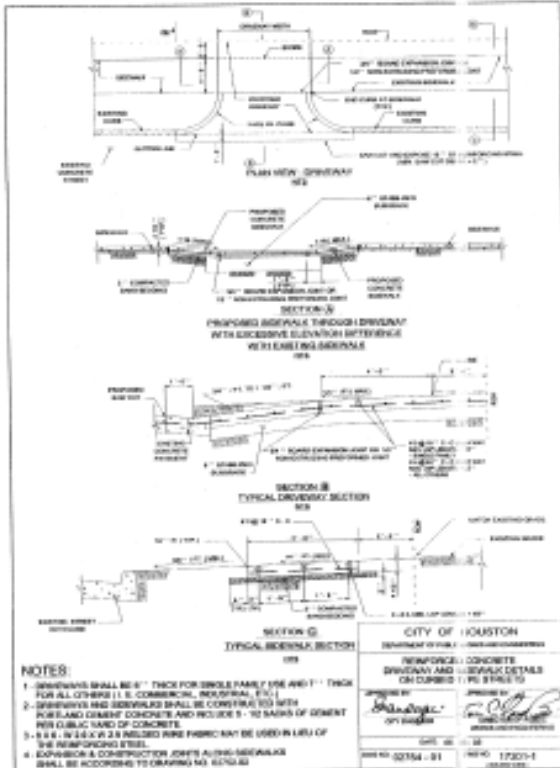
LEGAL DESCRIPTION

1.882 ACRE TRACT NE2 Q.8848 ACRE TRACT OUT OF UNDIVIDED NE1/4 SEC. 16, T.12N. R.10E. S.14E. CO. SHERMAN, TEXAS. HOUSTON, HARRIS COUNTY, TEXAS.

APPROVED

Approved for Water/Sewer
 Street Name: 0" BELLAIRE BLVD
 Street Name: 15" BELLAIRE BLVD
 Date: 3/3/06 Checked by: JL

1 SITE PLAN
 SCALE: 1/8" = 1'-0"
 NO. 3286



NOTES:

1. REINFORCING SHALL BE #4 OR #5 BARS FOR SINGLE FAMILY USE AND #7 OR #8 BARS FOR ALL OTHERS (I.E. COMMERCIAL, INDUSTRIAL, ETC.).
2. REINFORCING AND DEVELOPMENT SHALL BE CONFORM WITH THE PORTLAND CEMENT CONCRETE AND REINFORCING STEEL INSTITUTE (ACI) 308R-02.
3. #4 & #5 BARS SHALL BE EPOXY COATED REINFORCING STEEL.
4. FOUNDATION & CONSTRUCTION JOINTS SHALL BE CONFORM WITH THE CITY OF HOUSTON'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

CITY OF HOUSTON
 DEPARTMENT OF PUBLIC WORKS
 REINFORCED CONCRETE
 DIVISION AND CONCRETE DETAILS
 ON CURBED 1:10 SLOPE TO
 CITY ENGINEER
 DATE: 03-15-06
 SHEET NO. 02754-01

ACCESSIBILITY

This plan must be kept on file for all city inspections. A separate report is required for electrical, fire, and mechanical systems. The contractor shall be responsible for the design and construction of the building. The contractor shall be responsible for the design and construction of the building. The contractor shall be responsible for the design and construction of the building.

APPROVED FOR BUILDING PERMIT ONLY
 CITY OF HOUSTON
 CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without notification from the building official. Plans shall be done in accordance with the approved plans.
 NO. 3286

ADDRESS IDENTIFYING ADDRESS NUMBERS MUST BE POSTED ON BUILDING PRIOR TO FINAL INSPECTION. CHAPTER 10 ARTICLE V OF THE CITY CODE OF HOUSTON.

FIRE STOPPING REQUIREMENTS: Firestopping shall be installed in all walls and floors where the building is attached to an existing structure or where the building is attached to an existing structure.

5206265

PROJECT: BELLAIRE BLVD, HOUSTON, TX 77008
 PHONE: 713-968-8115
 FAX: 713-968-8117

DAN Design

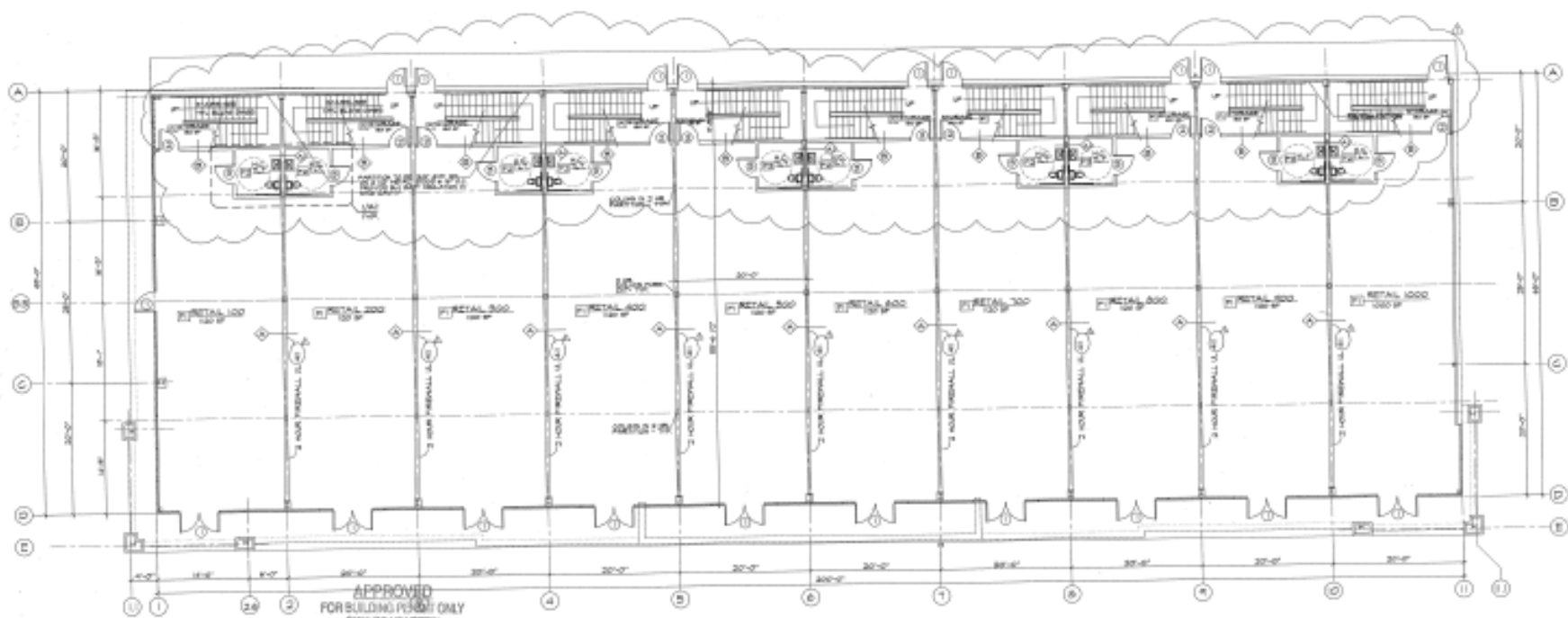
Project #: 15-000205
 Date: 05-05-06
 Scale: AS SHOWN

BELLAIRE BLVD PLAZA
 1211 BELLAIRE BLVD, HOUSTON, TX 77005

Project name:
 Description:

Sheet:
 C-1
 of 7

BELLAIRE RICHWAY PLAZA
12315 BELLAIRE BLVD.
HOUSTON, TEXAS 77072



APPROVED FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approvals and specifications shall not be changed, modified or altered without submission to the building official, and all work shall conform to the approved plans.

NO. 386

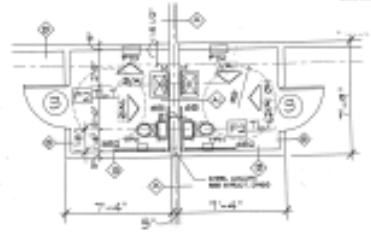
RETAIL FLOOR PLAN
 SCALE: 1/8"=1'-0"



SYNOPSIS:
 SUITES 100-1000 8,000 SF

Steeling in Hazardous Locations Shall Conform with Section 4350 of U.L.C. for Class 2001 Top Family Drawings C01 Section 3445 of U.L.C. for Commercial Construction.

FIRE ALARMING REQUIREMENT
 Fire alarm through 1000 series and Series shall be added with a manual capable of preventing the passage of flames and hot gases when subjected to the requirements of the Test Standard specific for Fire Alarm 42750-014.

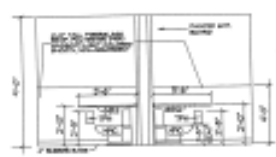


1 TYP. H.C. TOILET PLAN
 SCALE: 1/4"=1'-0"

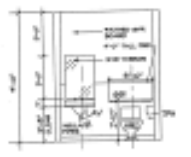
FINISH SCHEDULE				
FLOOR	BASE	WALLS	CEILING	REMARKS
100	VCT-12"x12"	RGB. PAINTED WITH ED.	2x4 SUPP. ACQUIS. TILE	17-6 RETAIL/STO
101	VCT-12"x12"	RGB. PAINT SHIP EDGY 4" TALL, FIBERGLASS REINFORCED	COLORED SPOONING REINFORCED	8 TOILETS
102	CONC. SEALED	NONE	SHIP ED. 1/8" AND FLOOR	EXPOSED STRUCTURE
				ATTIC

DOOR SCHEDULE						
NO.	TYPE	DOOR MATERIAL	FRAME MATERIAL	HARDWARE	FINISH	SCALE
1	---	SEE SHELL DRAWING	SEE SHELL DRAWING	---	---	---
2	---	PLASTIC LAM. FIBER BOARD	4" x 4" FRAM.	---	LOCATION TO LUMIN. SIGNAL FIXTURE	N.A. N.A.
3	---	PLASTIC LAM. FIBER BOARD	4" x 4" FRAM.	---	LOCATED UNDER CHANGING ROOM	N.A. N.A.

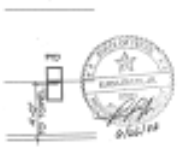
T.L.T. ACCESSORIES SCHEDULE	
M	24"x36" PLATE GLASS MIRROR
SD	36" LONG SS GRAB BAR
SD2	42" LONG SS GRAB BAR
TPH	TOILET PAPER HOLDER
PTD	PAPER TOWEL DISPENSER
SEE STATE REGS/YS FOR H.C. STANDARDS	



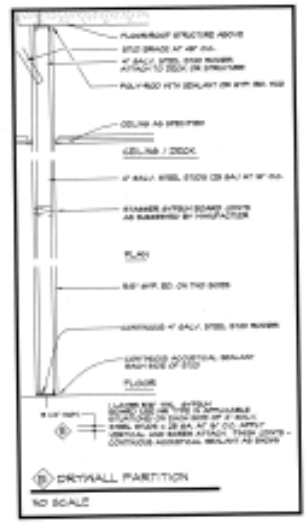
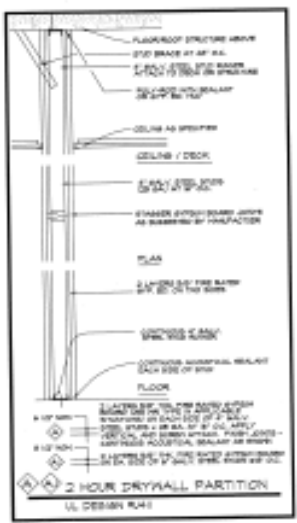
1 TOILET ELEV.
 SCALE: 1/4"=1'-0"



2 TOILET ELEV.
 SCALE: 1/4"=1'-0"

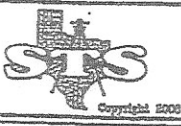
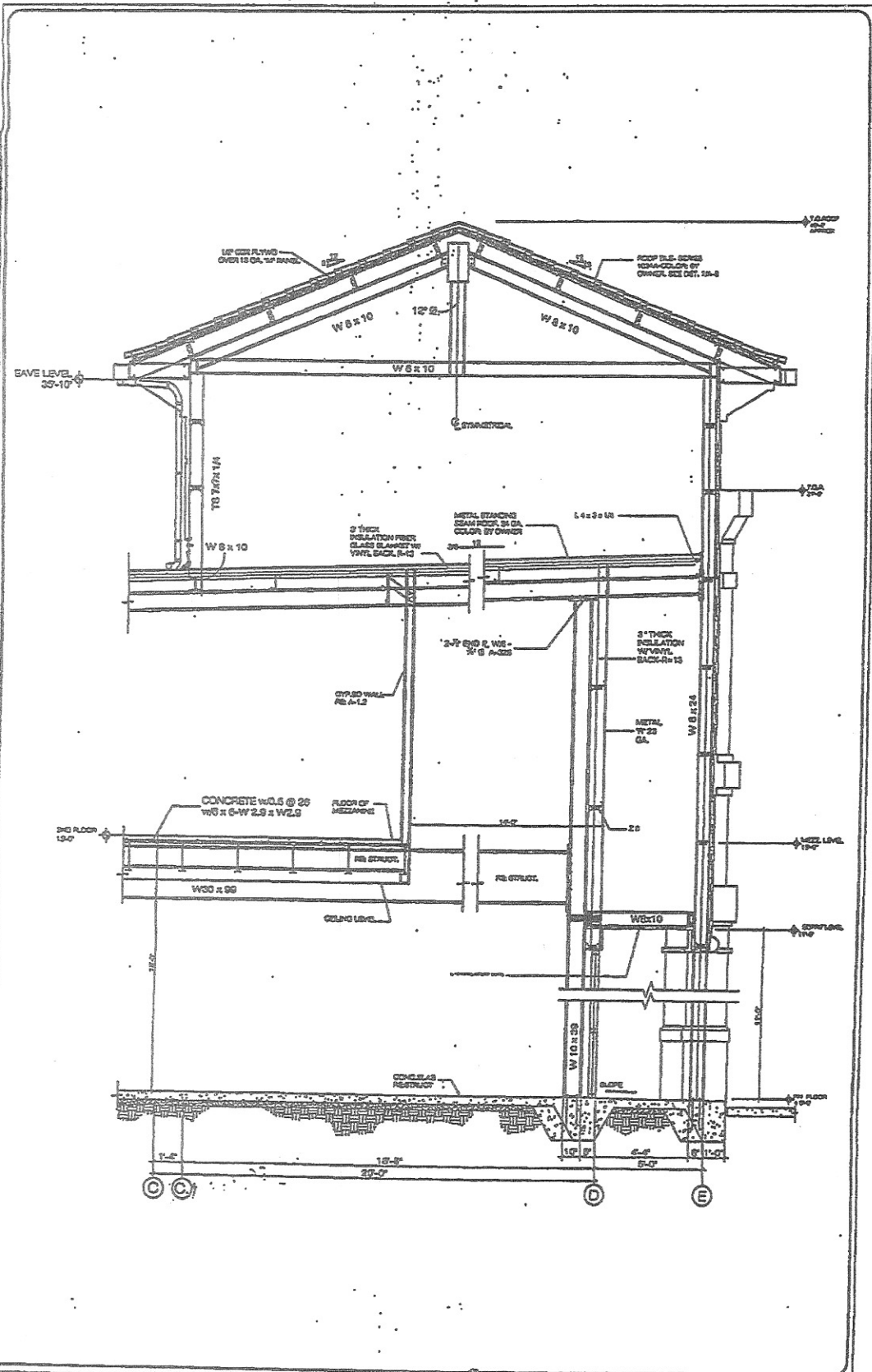


3 T.L.T. ELEV.
 SCALE: 1/4"=1'-0"



FILE NAME: BELLAIRE.DWG
 DATE: 04/28/08
 SHEET: 04-28-08

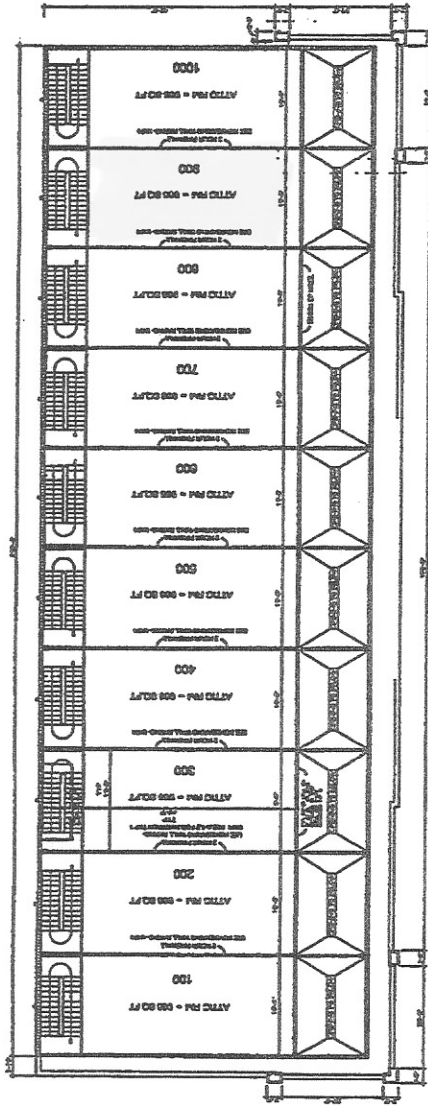
SHEET: **A1**
 OF 3



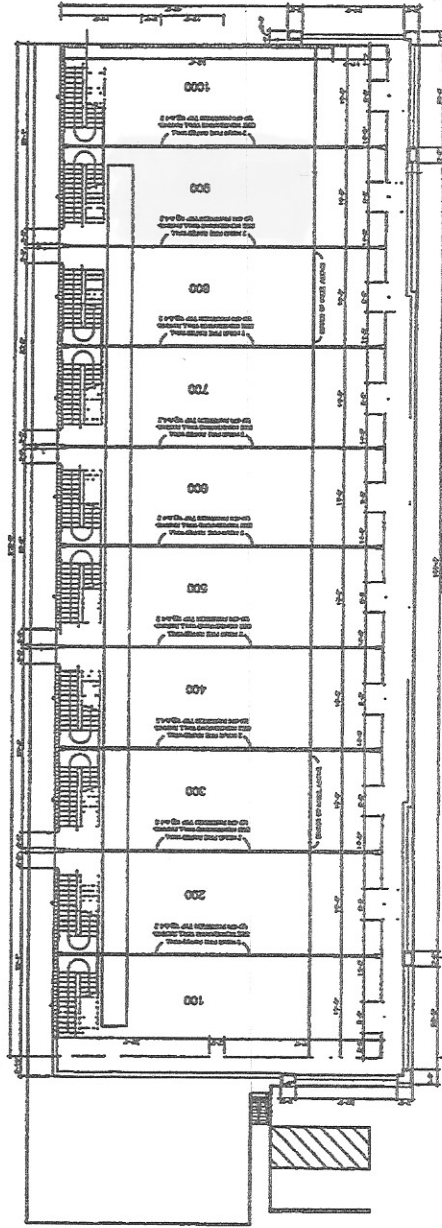
SOUTH TEXAS SURVEYING ASSOCIATES, INC.
 11281 Richmond Ave. Hdg J-Suite 101 Houston, Texas 77082
 TEL. (281) 556-8918 FAX (281) 556-8931

JYC

SECOND FLOOR - ATTIC / MEZZANINE



FIRST FLOOR



T&J BELLAIRE RETAIL CONDOMINIUM
BUILDING PROFILE SHEET

SHEET 2 OF 4
SOUTH TEXAS SURVEYING ASSOCIATES, INC.
11881 Rockwood Ave., Suite 107 Houston, Texas 77068
(281) 568-0916 FAX (281) 568-0337

12315 BELLAIRE BLVD HOUSTON, TX 77072

LOCATION ACCURACY: 📍 Excellent

Flood Zone Determination Report

Flood Zone Determination: IN 

COMMUNITY	480296	PANEL	0830L
PANEL DATE	June 18, 2007	MAP NUMBER	48201C0830L





Definitions of FEMA Flood Zone Designations

Zones indicating mandatory purchase of flood insurance in participating communities

ZONE	DESCRIPTION
A	Areas subject to a one percent or greater annual chance of flooding in any given year. Because detailed hydraulic analyses have not been performed on these areas, no base flood elevations are shown.
AE, A1 - A30	Areas subject to a one percent or greater annual chance of flooding in any given year. Base flood elevations are shown as derived from detailed hydraulic analyses (Zone AE is used on new and revised maps in place of Zones A1 - A30).
AH	Areas subject to a one percent or greater annual chance of shallow flooding in any given year. Flooding is usually in the form of ponding with average depths between one and three feet. Base flood elevations are shown as derived from detailed hydraulic analyses.
AO	Areas subject to a one percent or greater annual chance of shallow flooding in any given year. Flooding is usually in the form of sheet flow with average depths between one and three feet. Average flood depths are shown as derived from detailed hydraulic analyses.
AR	Areas subject to a one percent or greater annual chance of flooding in any given year due to a temporary increase in flood hazard from a flood control system that provides less than its previous level of protection.
A99	Areas subject to a one percent or greater annual chance of flooding in any given year, but will ultimately be protected by a flood protection system under construction. No base flood elevations or flood depths are shown.
V	Areas along coasts subject to a one percent or greater annual chance of flooding in any given year that also have additional hazards associated with velocity wave action. Because detailed hydraulic analyses have not been performed on these areas, no base flood elevations are shown.
VE, V1 - V30	Areas along coasts subject to a one percent or greater annual chance of flooding in any given year that include additional hazards associated with velocity wave action. Base flood elevations are shown as derived from detailed hydraulic analyses. (Zone VE is used on new and revised maps in place of Zones V1 - V30.)

CoreLogic® Flood Services has led the industry in providing fast, reliable and accurate flood risk data for 20 years. More than one million users rely on us to assess risk; support underwriting, investment and marketing decisions; prevent fraud; and improve performance in their daily operations.

Zones indicating non-mandatory (but available) purchase of flood insurance in participating communities

ZONE	DESCRIPTION
D	Areas of undetermined flood hazard where flooding is possible.
X, C	Areas of minimal flood hazard from the principal source of flood in the area and determined to be outside the 0.2 percent annual chance floodplain. (Zone X is used on new and revised maps in place of Zone C.)
X (Shaded), X500, B	Areas of moderate flood hazard from the principal source of flood in the area, determined to be within the limits of one percent and 0.2 percent annual chance floodplain. (Shaded Zone X is used on new and revised maps in place of Zone B.)
XFUT	For communities which elect to incorporate future floodplain conditions into their FIRMs, the future flood zone shown on the new map indicates the areas which the community believes will become the one percent annual chance floodplain (or the future Special Flood Hazard Area), due to projected urban development and land use.
None	Areas of undetermined flood hazard that do not appear on a Flood Insurance Rate Map or Flood Hazard Boundary Map, where flooding is possible.

FOR MORE INFORMATION, PLEASE CALL 800.447.1772
OR VISIT www.floodcert.com



Executive Summary

12315 Bellaire Blvd, Houston, Texas, 77072
 Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri
 Latitude: 29.70308
 Longitude: -95.59724

	0 - 5 minute	5 - 10 minute	10 - 15 minute
Population			
2010 Population	39,117	175,185	346,907
2020 Population	39,686	187,080	373,099
2023 Population	39,272	187,151	374,213
2028 Population	38,690	187,689	380,468
2010-2020 Annual Rate	0.14%	0.66%	0.73%
2020-2023 Annual Rate	-0.32%	0.01%	0.09%
2023-2028 Annual Rate	-0.30%	0.06%	0.33%
2020 Male Population	49.2%	48.9%	49.3%
2020 Female Population	50.8%	51.1%	50.7%
2020 Median Age	34.8	34.5	34.3
2023 Male Population	48.9%	49.6%	50.4%
2023 Female Population	51.1%	50.4%	49.6%
2023 Median Age	31.9	33.1	34.5

In the identified area, the current year population is 374,213. In 2020, the Census count in the area was 373,099. The rate of change since 2020 was 0.09% annually. The five-year projection for the population in the area is 380,468 representing a change of 0.33% annually from 2023 to 2028. Currently, the population is 50.4% male and 49.6% female.

Median Age

The median age in this area is 34.5, compared to U.S. median age of 39.1.

Race and Ethnicity

2023 White Alone	11.5%	15.9%	27.2%
2023 Black Alone	23.6%	26.5%	21.7%
2023 American Indian/Alaska Native Alone	1.3%	1.2%	1.2%
2023 Asian Alone	22.8%	20.1%	15.0%
2023 Pacific Islander Alone	0.1%	0.1%	0.0%
2023 Other Race	26.6%	22.9%	19.7%
2023 Two or More Races	14.0%	13.4%	15.0%
2023 Hispanic Origin (Any Race)	46.5%	41.4%	39.5%

Persons of Hispanic origin represent 39.5% of the population in the identified area compared to 19.4% of the U.S. population. Persons of Hispanic Origin may be of any race. The Diversity Index, which measures the probability that two people from the same area will be from different race/ethnic groups, is 89.3 in the identified area, compared to 72.1 for the U.S. as a whole.

Households

2023 Wealth Index	41	47	74
2010 Households	12,116	61,590	132,141
2020 Households	12,638	67,563	144,499
2023 Households	12,524	68,147	146,306
2028 Households	12,451	69,034	150,001
2010-2020 Annual Rate	0.42%	0.93%	0.90%
2020-2023 Annual Rate	-0.28%	0.27%	0.38%
2023-2028 Annual Rate	-0.12%	0.26%	0.50%
2023 Average Household Size	3.13	2.73	2.55

The household count in this area has changed from 144,499 in 2020 to 146,306 in the current year, a change of 0.38% annually. The five-year projection of households is 150,001, a change of 0.50% annually from the current year total. Average household size is currently 2.55, compared to 2.57 in the year 2020. The number of families in the current year is 87,001 in the specified area.

Data Note: Income is expressed in current dollars. Housing Affordability Index and Percent of Income for Mortgage calculations are only available for areas with 50 or more owner-occupied housing units. The Gini index measures the extent to which the distribution of income or consumption among individuals or households within an economy deviates from a perfectly equal distribution. A Gini index of 0 represents perfect equality, while an index of 100 implies perfect inequality.

Source: U.S. Census Bureau. Esri forecasts for 2023 and 2028. Esri converted Census 2010 into 2020 geography and Census 2020 data.



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Latitude: 29.70308
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	0 - 5 minute	5 - 10 minute	10 - 15 minute
Mortgage Income			
2023 Percent of Income for Mortgage	23.8%	26.5%	29.2%
Median Household Income			
2023 Median Household Income	\$44,026	\$46,014	\$55,121
2028 Median Household Income	\$49,989	\$51,476	\$61,051
2023-2028 Annual Rate	2.57%	2.27%	2.06%
Average Household Income			
2023 Average Household Income	\$65,249	\$69,777	\$89,553
2028 Average Household Income	\$74,529	\$79,334	\$100,077
2023-2028 Annual Rate	2.70%	2.60%	2.25%
Per Capita Income			
2023 Per Capita Income	\$21,074	\$25,371	\$35,134
2028 Per Capita Income	\$24,294	\$29,139	\$39,575
2023-2028 Annual Rate	2.88%	2.81%	2.41%
GINI Index			
2023 Gini Index	44.0	44.8	44.6

Households by Income

Current median household income is \$55,121 in the area, compared to \$72,603 for all U.S. households. Median household income is projected to be \$61,051 in five years, compared to \$82,410 for all U.S. households

Current average household income is \$89,553 in this area, compared to \$107,008 for all U.S. households. Average household income is projected to be \$100,077 in five years, compared to \$122,048 for all U.S. households

Current per capita income is \$35,134 in the area, compared to the U.S. per capita income of \$41,310. The per capita income is projected to be \$39,575 in five years, compared to \$47,525 for all U.S. households

Housing			
2023 Housing Affordability Index	96	86	77
2010 Total Housing Units	13,444	70,020	148,344
2010 Owner Occupied Housing Units	5,850	23,994	56,366
2010 Renter Occupied Housing Units	6,262	37,596	75,784
2010 Vacant Housing Units	1,328	8,430	16,203
2020 Total Housing Units	13,803	72,928	159,563
2020 Owner Occupied Housing Units	5,582	23,999	54,177
2020 Renter Occupied Housing Units	7,056	43,564	90,322
2020 Vacant Housing Units	1,139	5,295	15,123
2023 Total Housing Units	13,722	73,584	161,766
2023 Owner Occupied Housing Units	5,770	24,074	55,976
2023 Renter Occupied Housing Units	6,754	44,073	90,330
2023 Vacant Housing Units	1,198	5,437	15,460
2028 Total Housing Units	13,745	74,579	165,684
2028 Owner Occupied Housing Units	5,875	24,931	57,847
2028 Renter Occupied Housing Units	6,575	44,103	92,155
2028 Vacant Housing Units	1,294	5,545	15,683

Socioeconomic Status Index

2023 Socioeconomic Status Index	34.8	37.9	41.7
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Currently, 34.6% of the 161,766 housing units in the area are owner occupied; 55.8%, renter occupied; and 9.6% are vacant. Currently, in the U.S., 58.5% of the housing units in the area are owner occupied; 31.7% are renter occupied; and 9.8% are vacant. In 2020, there were 159,563 housing units in the area and 9.5% vacant housing units. The annual rate of change in housing units since 2020 is 0.42%. Median home value in the area is \$268,181, compared to a median home value of \$308,943 for the U.S. In five years, median value is projected to change by 3.62% annually to \$320,404.

Data Note: Income is expressed in current dollars. Housing Affordability Index and Percent of Income for Mortgage calculations are only available for areas with 50 or more owner-occupied housing units. The Gini index measures the extent to which the distribution of income or consumption among individuals or households within an economy deviates from a perfectly equal distribution. A Gini index of 0 represents perfect equality, while an index of 100 implies perfect inequality.

Source: U.S. Census Bureau. Esri forecasts for 2023 and 2028. Esri converted Census 2010 into 2020 geography and Census 2020 data.

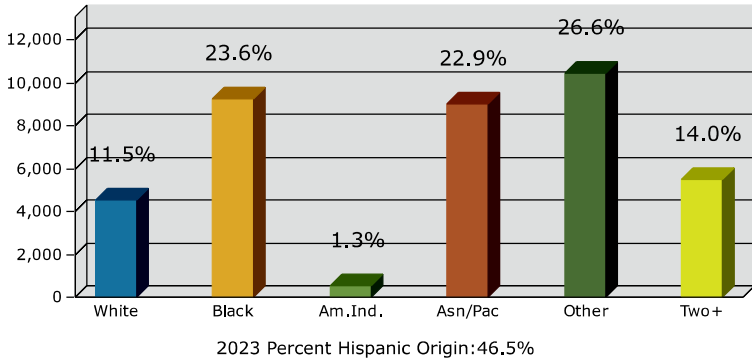


Graphic Profile

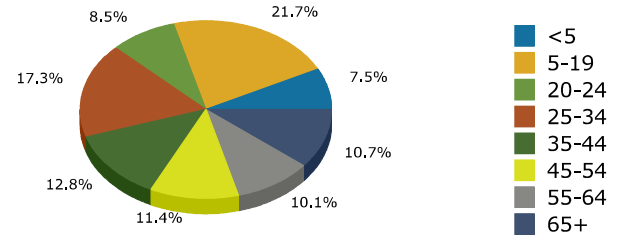
12315 Bellaire Blvd, Houston, Texas, 77072
 Drive time band: 0 - 5 minute radius

Prepared by Esri
 Latitude: 29.70308
 Longitude: -95.59724

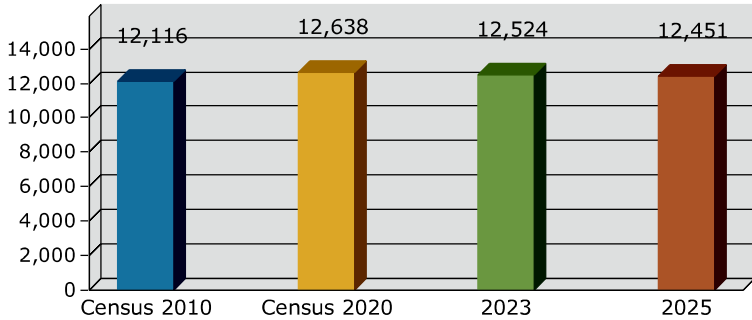
2023 Population by Race



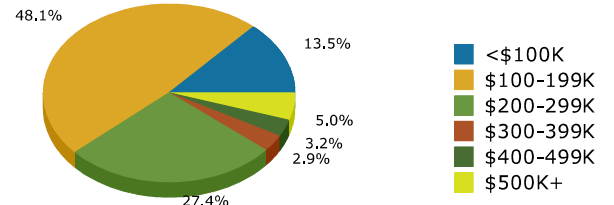
2023 Population by Age



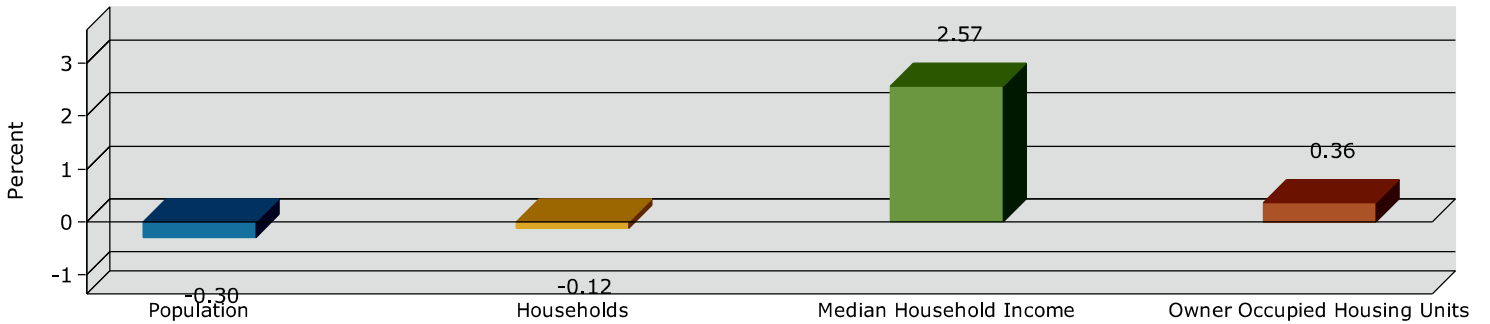
Households



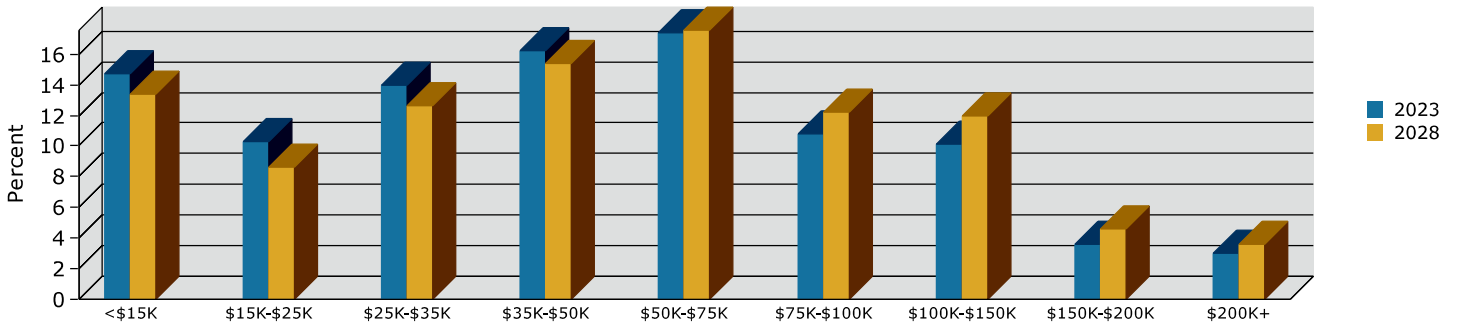
2023 Home Value



2023-2028 Annual Growth Rate



Household Income



Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

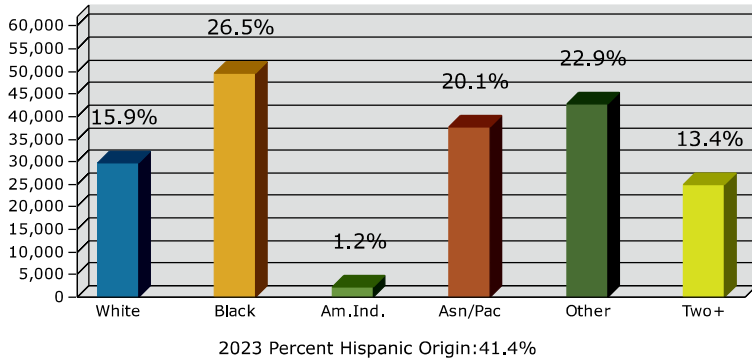


Graphic Profile

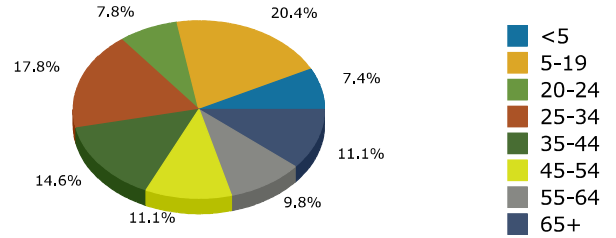
12315 Bellaire Blvd, Houston, Texas, 77072
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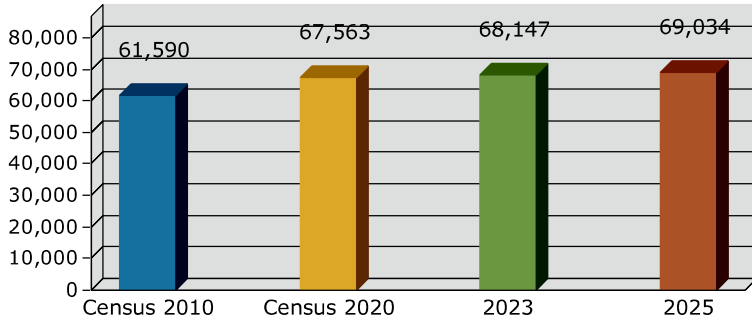
2023 Population by Race



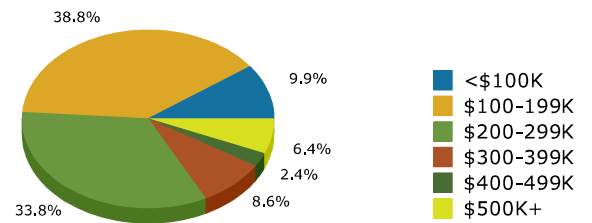
2023 Population by Age



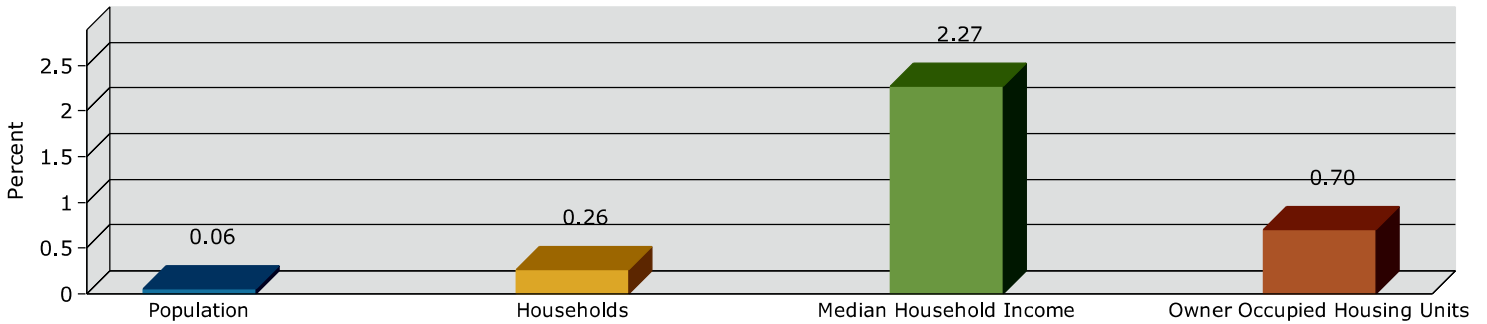
Households



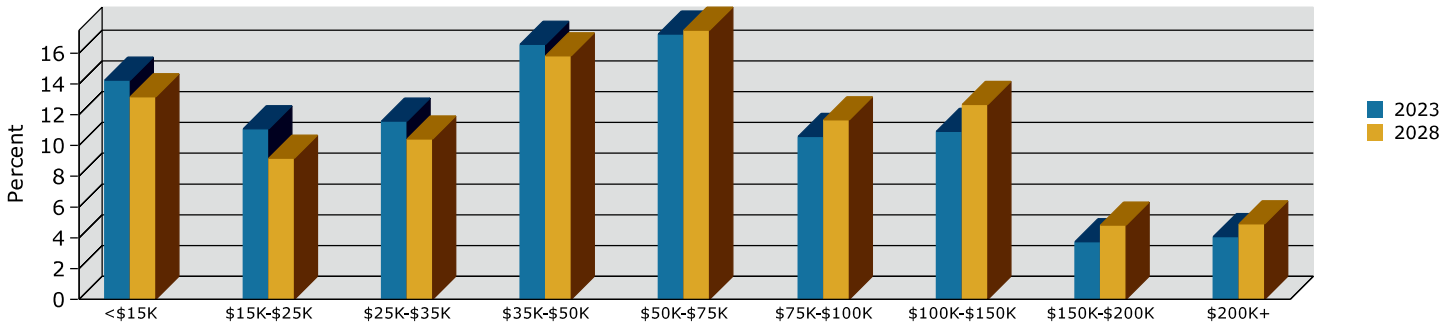
2023 Home Value



2023-2028 Annual Growth Rate



Household Income



Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

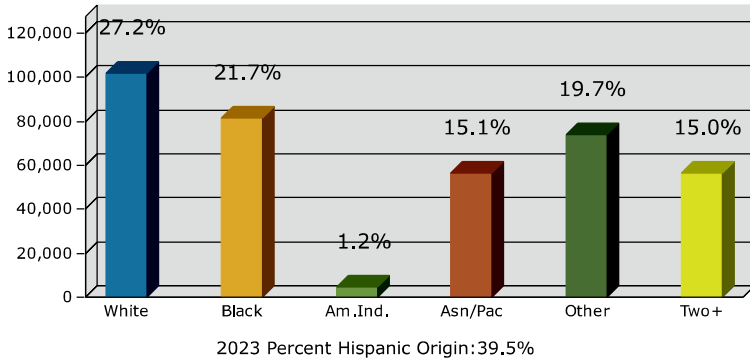


Graphic Profile

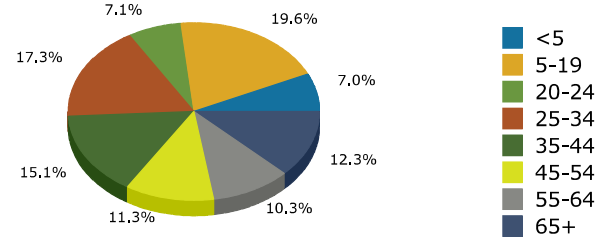
12315 Bellaire Blvd, Houston, Texas, 77072
 Drive time band: 10 - 15 minute radius

Prepared by Esri
 Latitude: 29.70308
 Longitude: -95.59724

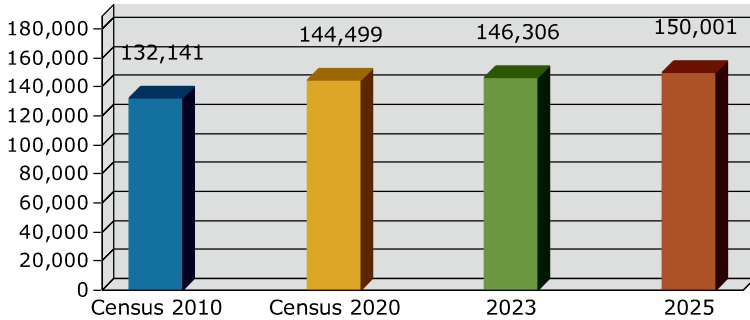
2023 Population by Race



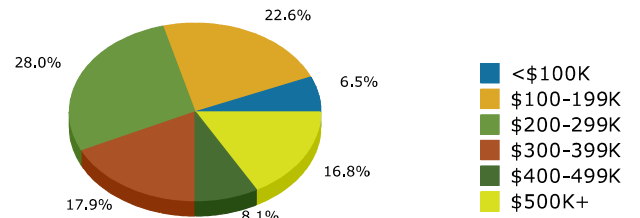
2023 Population by Age



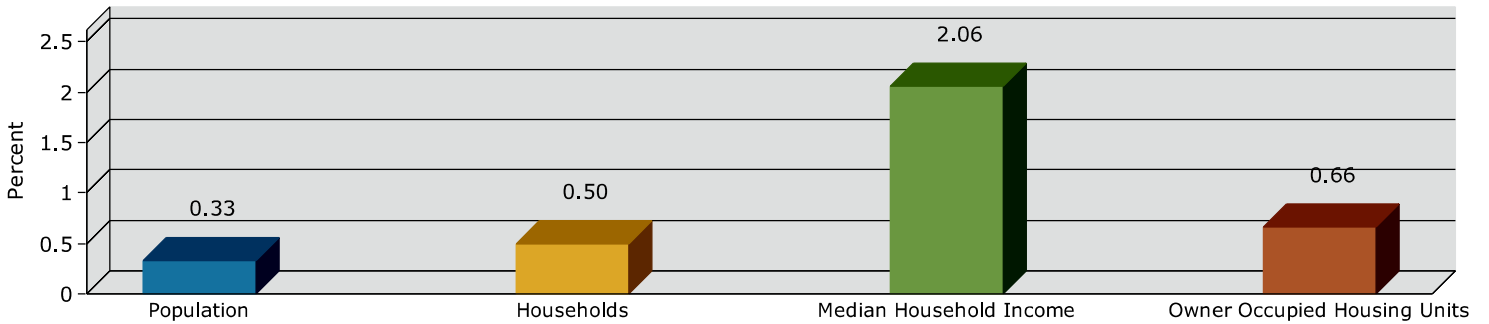
Households



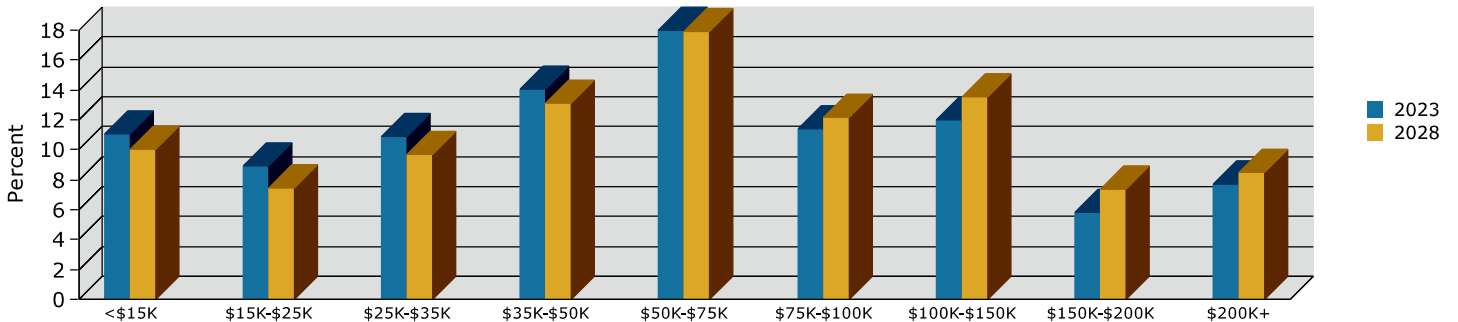
2023 Home Value



2023-2028 Annual Growth Rate



Household Income

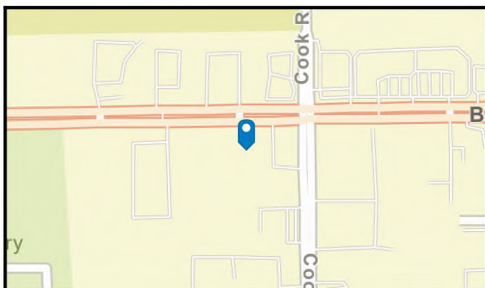
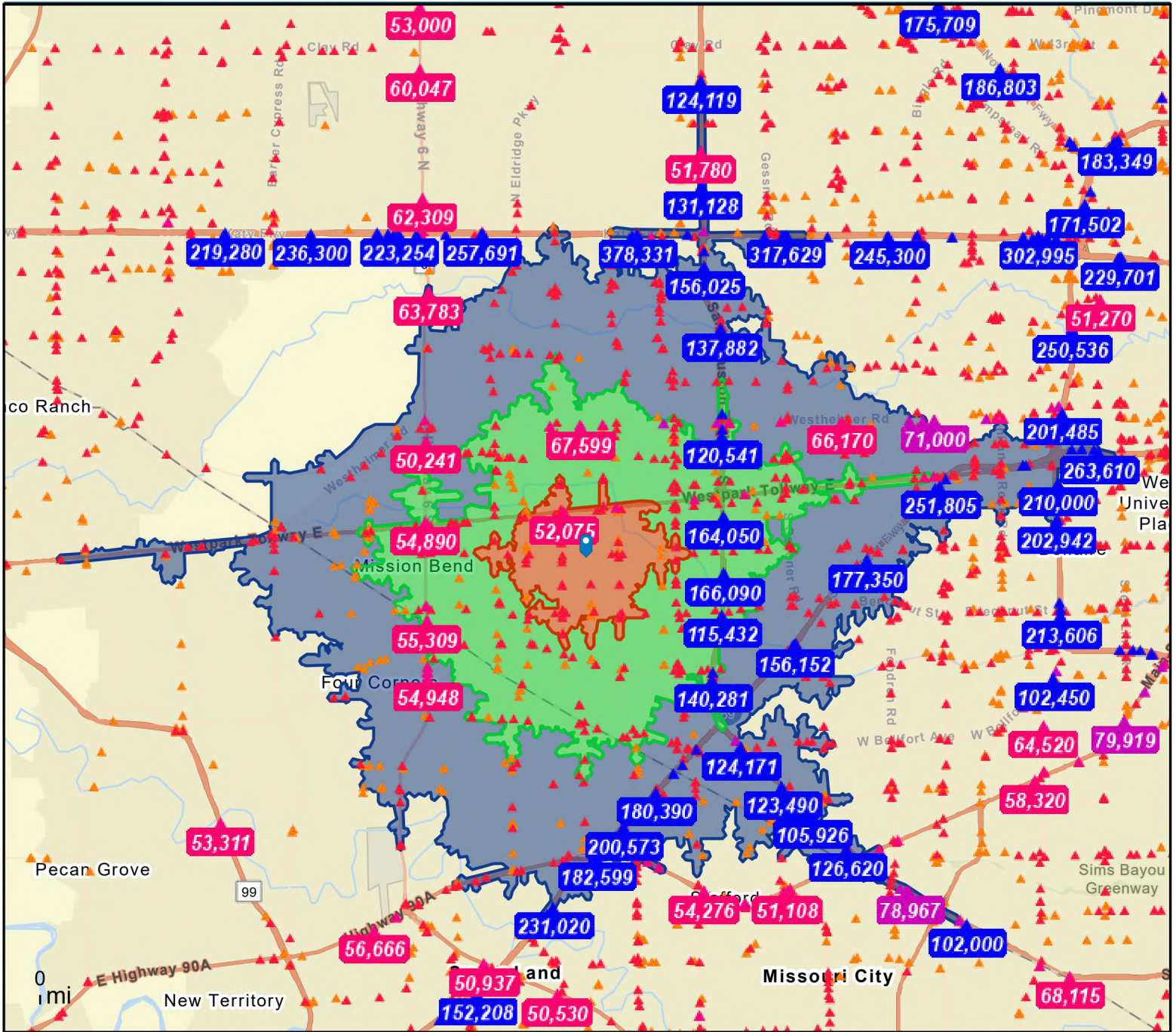


Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

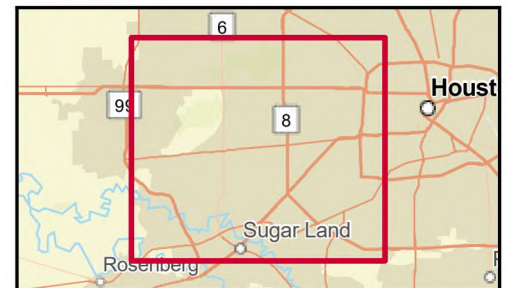
Traffic Count Map

12315 Bellaire Blvd, Houston, Texas, 77072
 Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri
 Latitude: 29.70308
 Longitude: -95.59724



- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
 - ▲ 6,001 - 15,000
 - ▲ 15,001 - 30,000
 - ▲ 30,001 - 50,000
 - ▲ 50,001 - 100,000
 - ▲ More than 100,000 per day



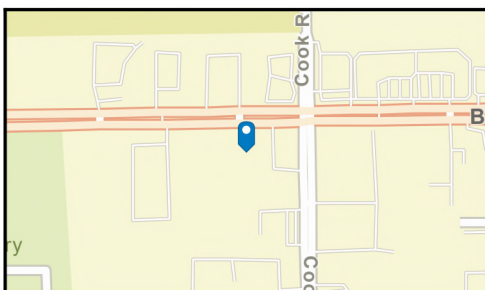
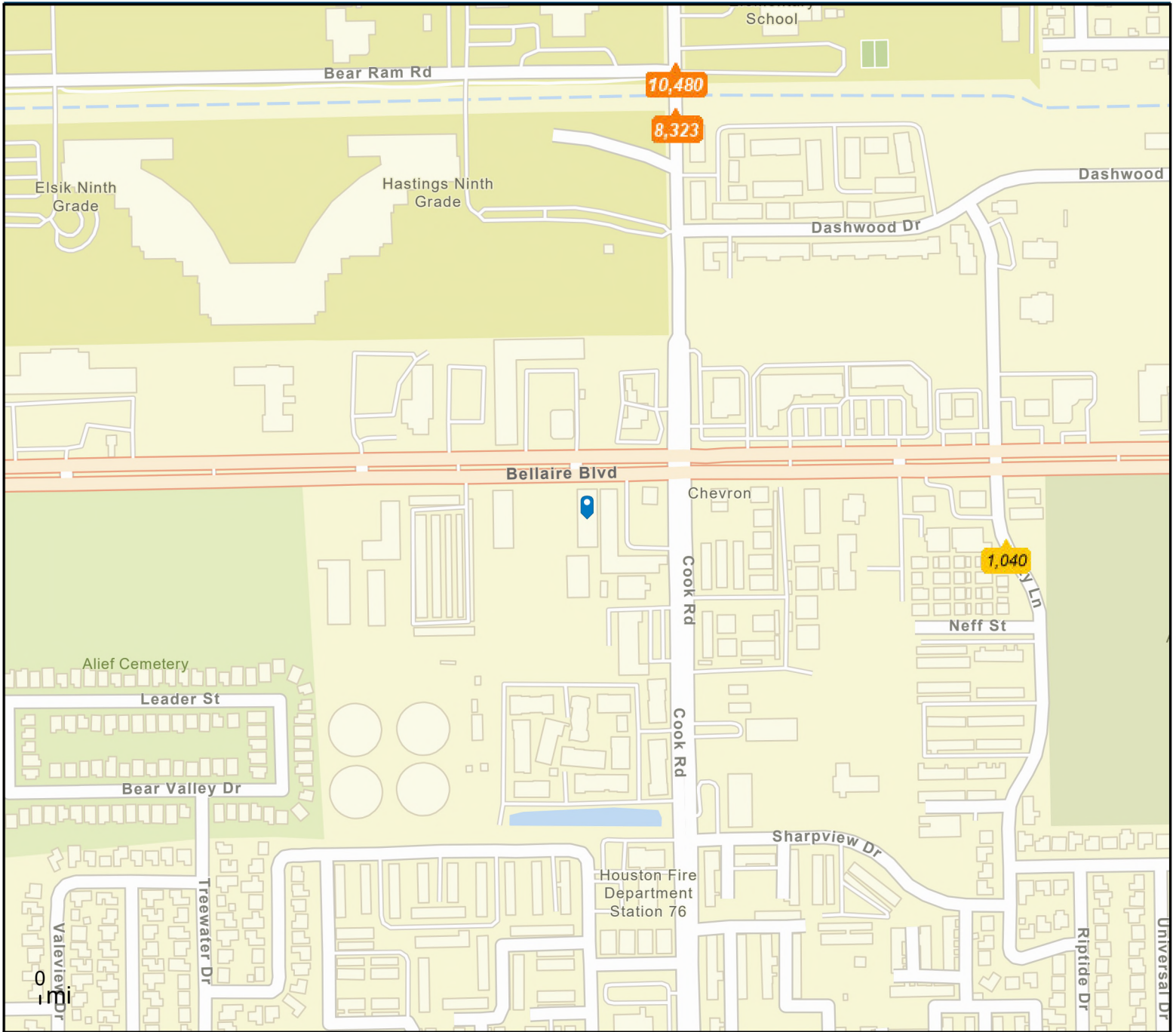
Source: ©2023 Kalibrate Technologies (Q3 2023).

February 27, 2024

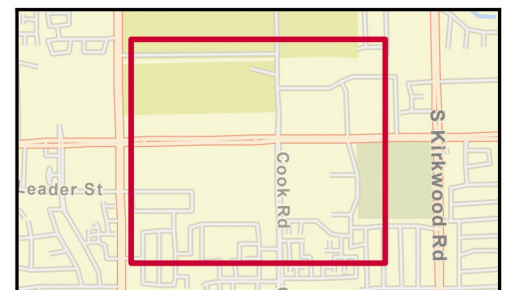
Traffic Count Map - Close Up

12315 Bellaire Blvd, Houston, Texas, 77072
 Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri
 Latitude: 29.70308
 Longitude: -95.59724



- Average Daily Traffic Volume**
- ▲ Up to 6,000 vehicles per day
 - ▲ 6,001 - 15,000
 - ▲ 15,001 - 30,000
 - ▲ 30,001 - 50,000
 - ▲ 50,001 - 100,000
 - ▲ More than 100,000 per day



Source: ©2023 Kalibrate Technologies (Q3 2023).



Traffic Count Profile

12315 Bellaire Blvd, Houston, Texas, 77072
Drive time bands: 0-5, 5-10, 10-15 minute radii

Prepared by Esri
Latitude: 29.70308
Longitude: -95.59724

Distance:	Street:	Closest Cross-street:	Year of Count:	Count:
0.28	Cook Road	Dashwood Dr (0.08 miles S)	2019	8,323
0.29	Jetty Ln	Neff St (0.06 miles SE)	2011	1,040
0.31	Cook Rd	Dashwood Dr (0.11 miles S)	2001	10,480
0.42	Bellaire Blvd	S Dairy Ashford Rd (0.01 miles W)	2013	40,303
0.43	S Dairy Ashford Rd	Bellaire Blvd (0.06 miles N)	2011	18,310
0.44	South Dairy Ashford Road	Leader St (0.03 miles S)	2019	19,140
0.45	Bellaire Blvd	Aqua Ln (0.01 miles W)	2013	44,423
0.48	Cook Road	Corona Ln (0.07 miles S)	2019	16,021
0.50	S Dairy Ashford Rd	Rodeo Square Dr (0.04 miles S)	2006	23,950
0.50	South Dairy Ashford Road	Rodeo Square Dr (0.04 miles S)	2019	19,499
0.53	Bellaire Boulevard	Aqua Ln (0.01 miles W)	2019	40,117
0.55	S Dairy Ashford Rd	Rodeo Square Dr (0.13 miles S)	2015	35,992
0.57	South Kirkwood Road	Bellaire Blvd (0.09 miles N)	2019	17,082
0.57	S Kirkwood Rd	Bellaire Blvd (0.05 miles S)	2001	11,170
0.62	South Kirkwood Road	Dashwood Dr (0.04 miles S)	2019	15,399
0.63	Bellaire Blvd	Belle Glen Dr (0.03 miles E)	2013	47,637
0.64	S Kirkwood Rd	Dashwood Dr (0.09 miles S)	2013	14,201
0.64	South Dairy Ashford Road	Braewood Glen Ln (0.01 miles S)	2019	19,945
0.65	High Star Dr	S Dairy Ashford Rd (0.07 miles W)	2011	2,210
0.66	Cook Road	Dashwood Dr (0.04 miles N)	2021	8,853
0.66	Cook Road	6th St (0.02 miles N)	2020	6,472
0.66	S Dairy Ashford Rd	Braewood Glen Ln (0.01 miles S)	2011	18,120
0.72	High Star Dr	L St (0.02 miles E)	2011	3,750
0.75	S Kirkwood Rd	Carvel Ln (0.05 miles N)	2013	17,607
0.76	S Dairy Ashford Rd	High Star Dr (0.09 miles S)	2011	18,620
0.76	South Kirkwood Road	Carvel Ln (0.05 miles N)	2019	19,527
0.78	South Dairy Ashford Road	Alief Clodine Rd (0.07 miles N)	2019	17,838
0.78	High Star Dr	Weststar Ln (0.02 miles W)	2006	4,630
0.81	S Dairy Ashford Rd	Alief Clodine Rd (0.07 miles N)	2011	22,899
0.82	High Star Dr	S Kirkwood Rd (0.05 miles W)	2006	2,750

Data Note:The Traffic Profile displays up to 30 of the closest available traffic counts within the largest radius around your site. The years of the counts in the database range from 2022 to 2000. Esri removes counts that are older than 2000 from the Kalibrate provided database. Traffic counts are identified by the street on which they were recorded, along with the distance and direction to the closest cross-street. Distances displayed as 0.00 miles (due to rounding), are closest to the site. A traffic count is defined as the two-way Average Daily Traffic (ADT) that passes that location.

Source: ©2023 Kalibrate Technologies (Q3 2023).

