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# **DESERET MEADOWS** **MASTER DEVELOPMENT PLAN**

MAY 2024 | GRANTSVILLE, UT

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PREPARED BY



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NOTE: ALL GRAPHICS SHOWN ARE CONCEPTUAL ONLY- ACTUAL FORM, DESIGN AND LAYOUT WILL BE DETERMINED AT PRELIMINARY SUBDIVISION APPROVAL.

# INTRO

# **PREFACE**

The following Master Development Plan (“MDP”) document addresses the proposed improvements as they pertain to the proposed Deseret Meadows Community located in Grantsville, Utah. The property and the proposed improvements for the development are discussed in detail and follow the requirements set forth within the Planned Unit Development requirements of the City Code. This document and its subsequent Village plans supersede land development code and ordinances for the entirety of Deseret Meadows, however any issue not addressed in either the Master Development Plan or a future Village Plan will default to city standards. The purpose of the document is to inform the City (Staff, Planning, Commission, and City Council) and Public of the proposed general design elements, open space plans, guiding design principles, and land uses for Deseret Meadows. In addition, utility capacities, based on conceptual plans, will outline the methods used to anticipate the demands and service requirements necessary to provide adequate utility service and infrastructure for both the residences within the development and the City.

# **EXECUTIVE SUMMARY**

Deseret Meadows is an approximate 120-acre parcel located north of State Route 112 and adjacent to and west of the Lakeview Business Park. The project is ideally situated to provide a significant community amenity and associated land development. The central feature of the site is the 10-acre Community Park which is integrated into the overall development and is the focal point for the development. The proposed Master Development Plan incorporates a maximum of 925 units with a minimum of 12 acres of open space and 6 acres of commercial development.

# APPROVAL MATRIX

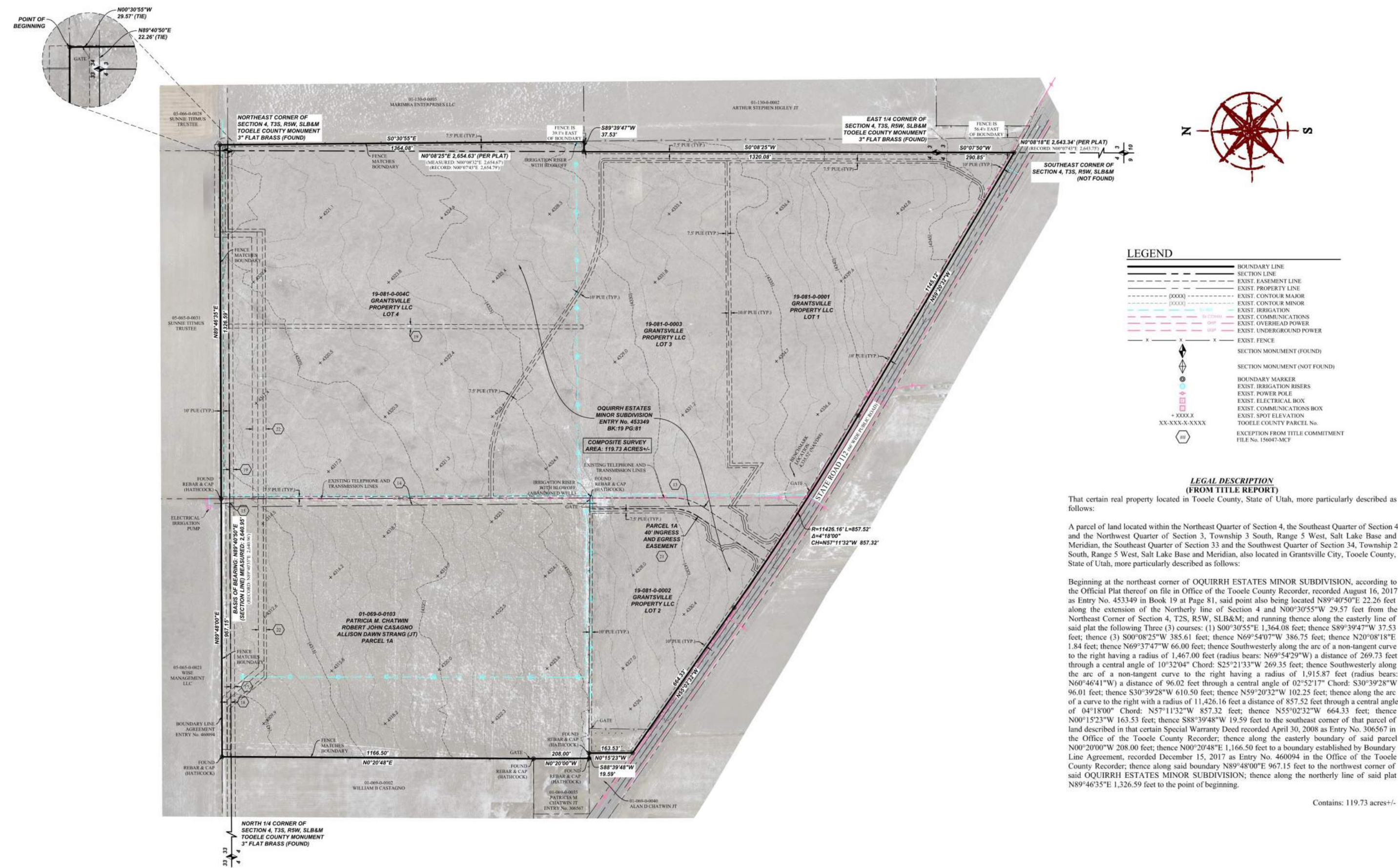
SUBMITTAL TYPE	PLANNING DIRECTOR APPROVAL	PLANNING COMMISSION PUBLIC HEARING	PLANNING COMMISSION RECOMMENDATION	CITY COUNCIL APPROVAL
Master Development Plan		X	X	X
MDP   Major Amendment		X	X	X
MDP   Minor Amendment	X			
Minor Subdivision <sup>1</sup>	X			
Plat, Condominium or Final	X <sup>2</sup>			
Plat, Preliminary in MDP or VP	X <sup>3</sup>			
Site Plan	X <sup>4</sup>			
Village Plan		X	X	X
Village Plan   Major Amendment		X	X	X
Village Plan   Minor Amendment	X			

## NOTES:

1. Minor subdivision to include subdividing land for the purposes of land sale based on no building lots being created. Amendment of lot created by minor subdivisions may be completed to allow development.
2. Planning Director approval if the condominium or final plat is consistent with the preliminary plat or as adjusted through the Village Plan Process. If not, City Council approval is required. Consistency of preliminary plat allows for adjustment of utilities based on final calculations and review, lot count decrease and lot dimension variance up to minimum established for applicable village.
3. Planning Director approval if the preliminary plat layout is contained in the Master Development Plan or Village Plan. If not, the preliminary plat shall be reviewed by the planning commission with a recommendation to the City Council.
4. Planning director approval if the site plan layout is contained in the Master Development Plan or Village Plan.



EXISTING CONDITIONS



# **LAND USES & DESIGN STANDARDS**



ZONING AND PUD OVERLAY MAPS

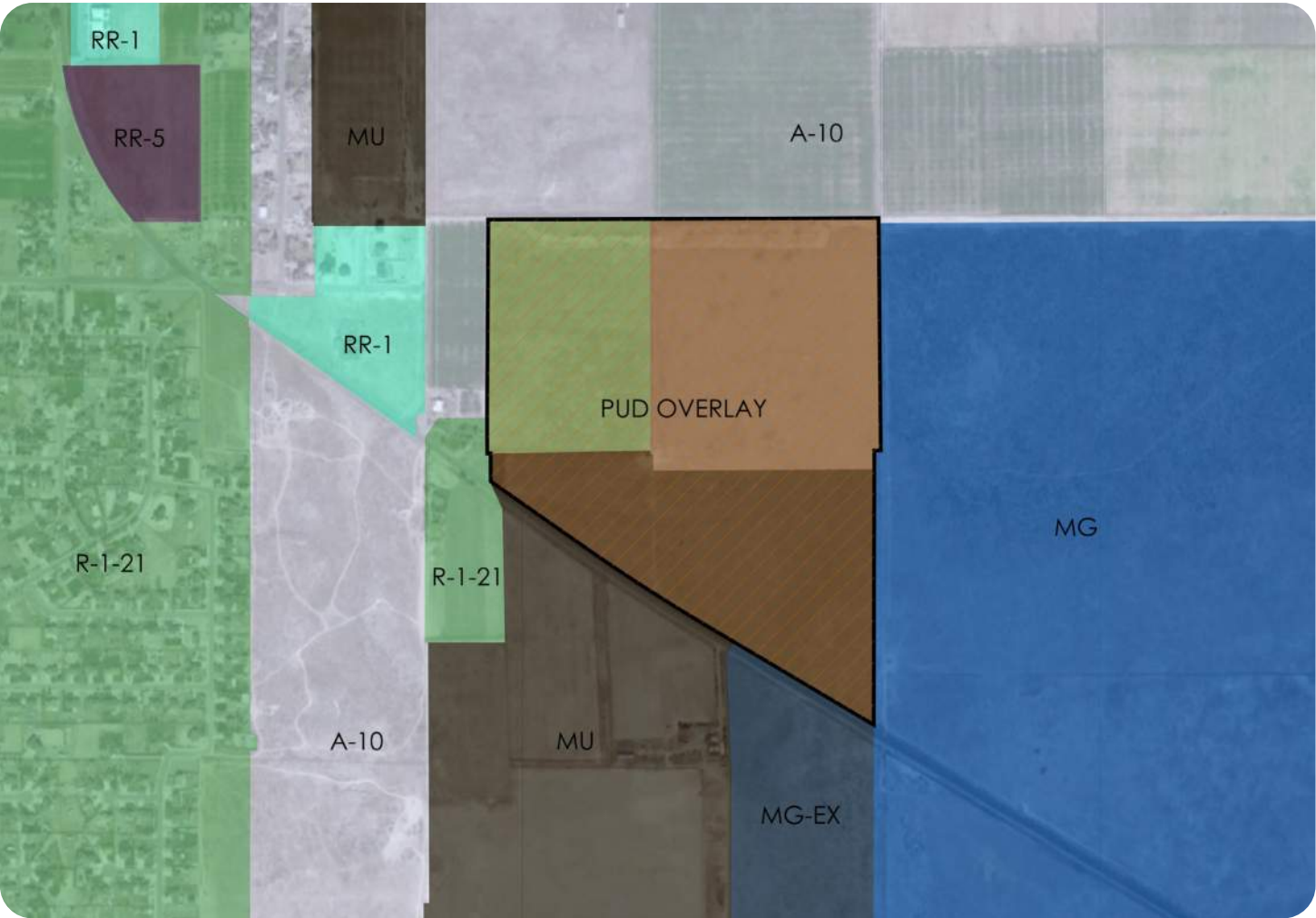


EXISTING ZONING

R-1-21, RM-15, and Mixed Use (MU)

Zone	RM-15	Mixed Use	R-1-21	Total	Proposed Totals
Acreage	45.47	44.18	29.98	119.63	
Density	15	15	2	10.7	7.7
Max. Units	682.05	662.7	59.96	1404.71	925

As shown in the table, the proposed PUD overlay’s density is informed by the densities of the current underlying zones and their combined average. Deseret Meadows proposes a minimum density reduction of 34% (479 fewer units than currently allowed).



PROPOSED PUD OVERLAY

Planned Unit Development

LEGEND

- PROJECT BOUNDARY

GENERAL MANUFACTURING (MG)

PLANNED UNIT DEVELOPMENT OVERLAY
- RM-15

MIXED USE (MU)

MINING (MG-EX)
- A-10

RR-5

R-1-21

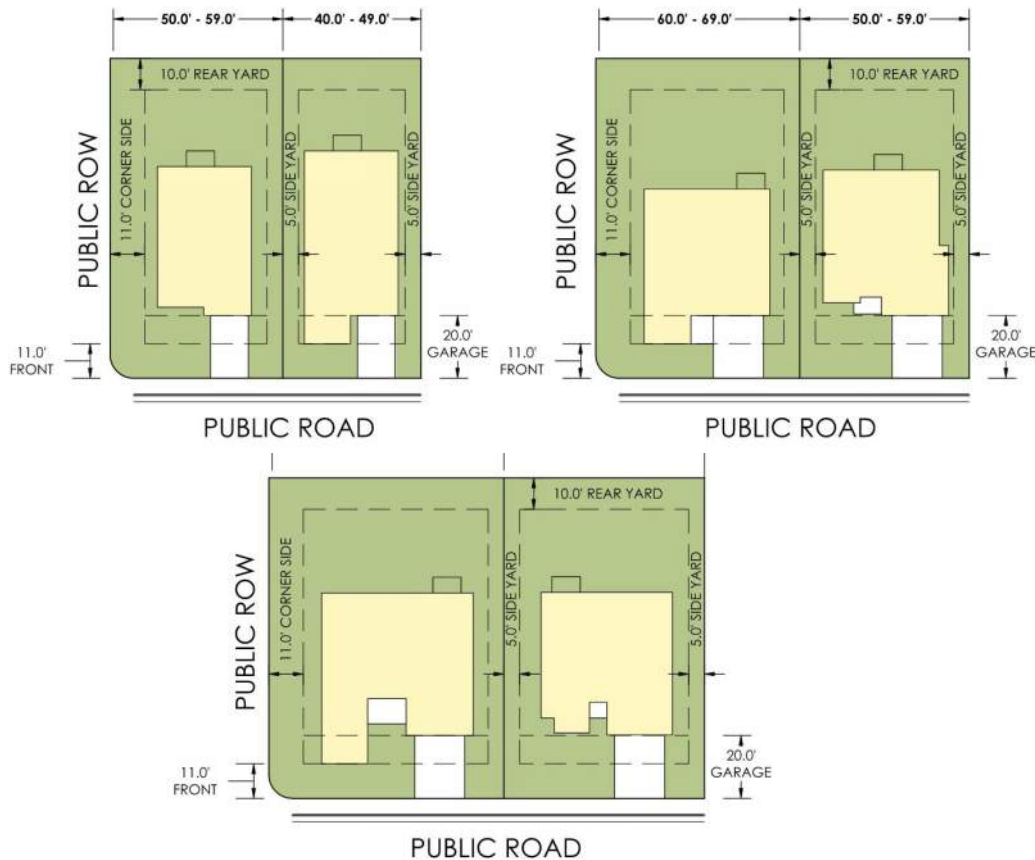


BULK & INTENSITY TABLES

	Single-Family				Townhomes		
	30-39' Lot	40-49' Lot	50-59' Lot	60-69' Lot	Alley Load Townhomes	Front-Load Townhomes	3-Story Alley Load Townhomes
Max. Density	10 du/ac	8 du/ac	6 du/ac	5 du/ac	16 du/ac	15 du/ac	25 du/ac
Min. Lot Area	2,400 sq. ft.	3,200 sq. ft.	4,500 sq. ft.	6,000 sq. ft.	800 sq. ft.	900 sq. ft.	600 sq. ft.
Minimum Lot Width (Measured at Setback)	30'	40'	50'	60'	12'	16'	12'
Min. Front Yard Setback	11'	11'	11'	11'	11'	11'	11'
Min. Garage Setback	20' for full-length driveways; 5' for drive approaches	20'	20'	20'	20' for full-length driveways; 5' for drive approaches	20'	20' for full-length driveways; 5' for drive approaches
Minimum Side Yard Setback (Interior Lots)	5'	5'	5'	5'	15' between buildings	15' between buildings	15' between buildings
Minimum Side Yard Setback (Corner Lots)	11'	11'	11'	11'	15'	15'	15'
Minimum Rear Yard Setback (Interior Lots)	20' for full-length driveways; 5' for drive approaches	10'	10'	10'	20' for full-length driveways; 5' for drive approaches	10'	20' for full-length driveways; 5' for drive approaches
Maximum Building Height	35'	35'	35'	35'	35'	35'	35'

# FRONT-LOAD SINGLE-FAMILY HOMES

Single-family home lots in Deseret Meadows will at a minimum range from 2,400 to 6,000 square feet and larger to offer a range of housing options for Grantsville residents. All single-family homes will follow the setbacks and other development standards outlined by the Deseret Meadows bulk and intensity table requirements. These homes will have a single or double-car garage.



Setback Exhibit

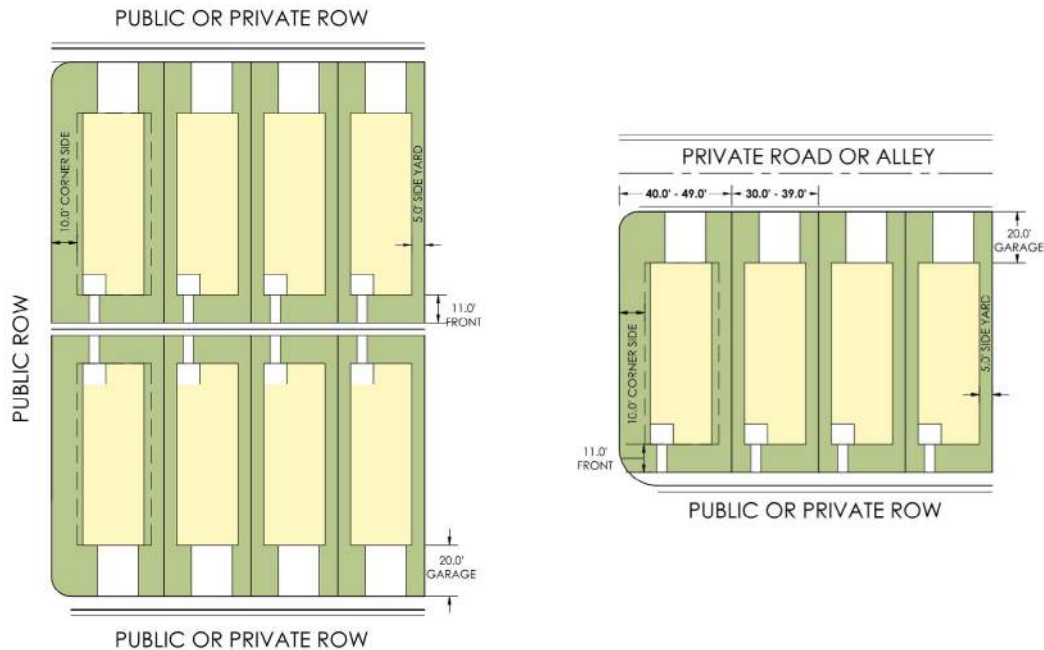


Home Examples

NOTE: ALL GRAPHICS SHOWN ARE CONCEPTUAL ONLY- ACTUAL FORM, DESIGN AND LAYOUT WILL BE DETERMINED AT PRELIMINARY SUBDIVISION APPROVAL.

# REAR-LOAD SINGLE-FAMILY HOMES

Rear-load single family lots will be a minimum of 2,400 square feet. Front doors may face a shared open space or a road to create access to recreation opportunities and curb appeal. All single-family homes will follow the setbacks and other development standards outlined by the Deseret Meadows bulk and intensity table requirements. These homes will have a single or double-car garage.



Setback Exhibit

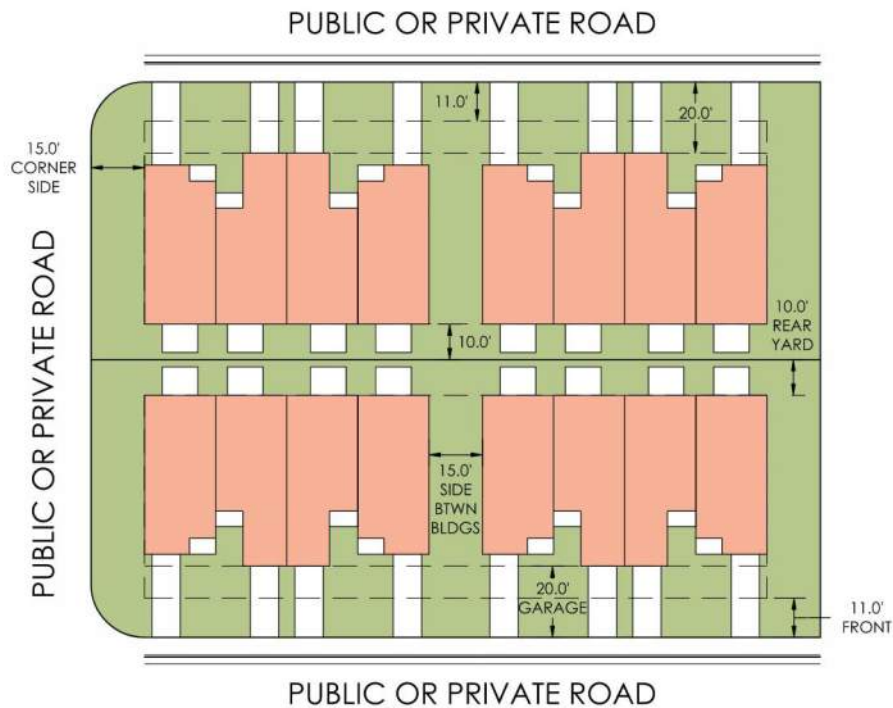


Home Examples

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# FRONT-LOAD TOWNHOMES

Townhomes in Deseret Meadows will feature 3-8 units per 2-story building. All buildings will follow the setbacks and other development standards outlined by the Deseret Meadows bulk and intensity table requirements. These buildings will feature shared open spaces to provide recreational space to residents and will have a single or double-car garage.



Setback Exhibit



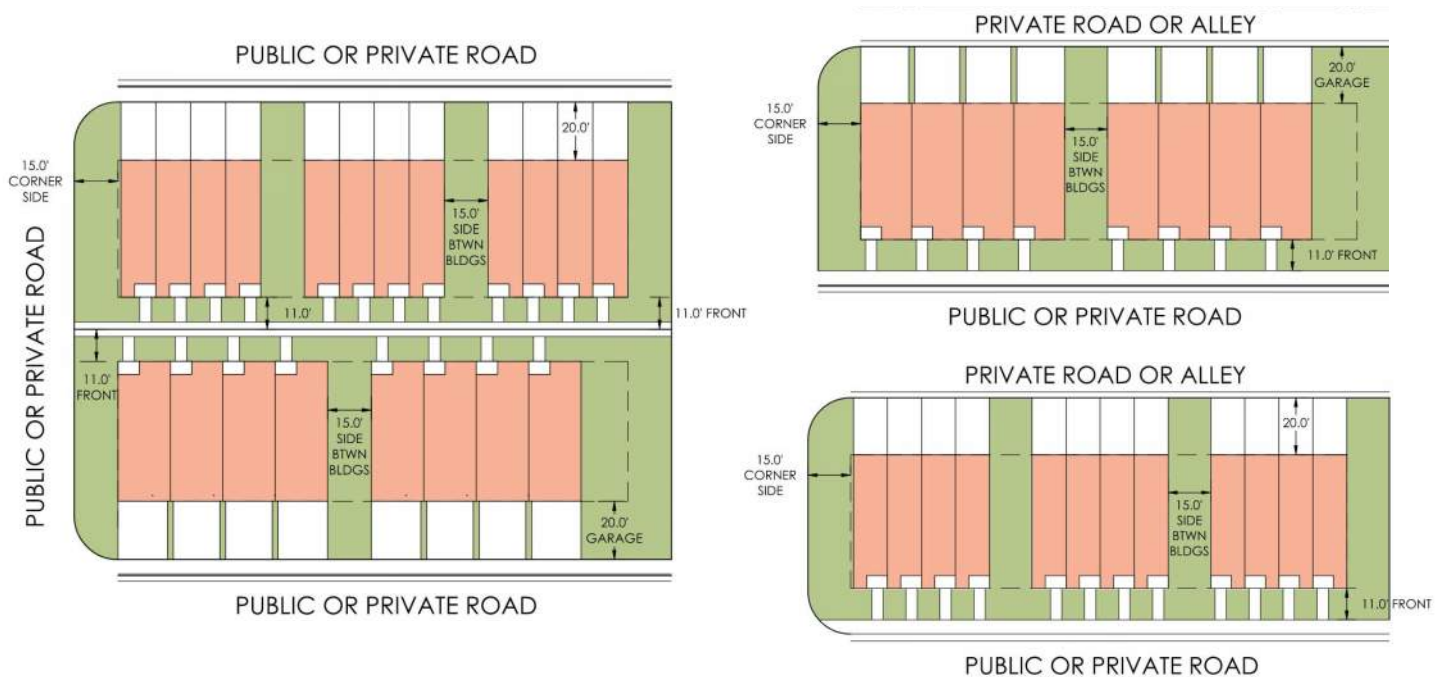
Home Examples

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# REAR-LOAD TOWNHOMES

Rear-load townhomes in Deseret Meadows will feature 3-8 units in each 2-3 story building. Front doors may face a shared open space or a road to create access to recreation opportunities and curb appeal. All buildings will follow the setbacks and other development standards outlined by the Deseret Meadows bulk and intensity table requirements. These units will feature shared open spaces around each building and will have a single or double-car garage.



Setback Exhibit



Home Examples

NOTE: ALL GRAPHICS SHOWN ARE CONCEPTUAL ONLY- ACTUAL FORM, DESIGN AND LAYOUT WILL BE DETERMINED AT PRELIMINARY SUBDIVISION APPROVAL.



DEVIATIONS TO THE CITY CODE

Development Standards												
GRANTSVILLE, UT CITY CODE						DESERET MEADOWS PUD						
Code Requirement	R-1-21 SFD	RM-15 SFD	Mixed-Use Commercial	Mixed-Use Multi-family	Mixed-Use SFD	30-39' Lot	40-49' Lot	50-59' Lot	60-69' Lot	Alley-Load Townhomes	Front-Load Townhomes	3-Story Alley-Load Townhomes
Maximum Density		15 DU/Ac		15 DU/ac 4)		10 DU/Ac	8 DU/Ac	6 DU/Ac	5 DU/Ac	16 DU/Ac	15 DU/Ac	25 DU/Ac
Minimum Lot Size	21,780 sq. ft. (1/2 ac)	8,000 sq. ft. 10,000 sq. ft. Corner Lots	½ acre	7,000 sq. ft. 1st unit + 4,000 sq. ft. for each additional ground level unit in the structure. Lot size for units in a structure on a corner is 10,000 sq. ft.	4,000 sq. ft.	sq. ft. 2,400	3,200 sq. ft.	4,500 sq. ft.	6,000 sq. ft.	800 sq. ft.	900 sq. ft.	600 sq. ft.
Minimum Lot Frontage (1)	70-feet	60-feet	100-feet	50-feet	50-feet	30-feet	40-feet	50-feet	60-feet	12-feet	16-feet	12-feet
Minimum Yard Setbacks												
Front Yard	40-feet	25-feet	25-feet (5)	25-feet (5)	25-feet (5)	11-feet	11-feet	11-feet	11-feet	11-feet	11-feet	11-feet
Rear Yard												
- Main Building	30-feet	20-feet	20-feet	20-feet	20-feet	20' for full-length driveways; 5' for drive approaches	10-feet	10-feet	10-feet	20' for full-length driveways; 5' for drive approaches	20-feet	20' for full-length driveways; 5' for drive approaches
-Accessory Bldg.	1-foot	1-foot	7.5-feet	7.5-feet	7.5-feet	NA	NA	NA	NA	NA	NA	NA
Side Yard												
-Main Building (3)	5(2) /15 feet	7.5-feet	7.5/10-feet (2)	20-feet (2)	7.5/10-feet (2)	5-feet	5-feet	5-feet	5-feet	15-feet between buildings	15-feet between buildings	15-feet between buildings
-Accessory Bldg.	1-foot	4-feet (2)	7.5-feet	7.5-feet	7.5-feet	NA	NA	NA	NA			
-Corner Side Yard	2 front yards and 2 side yards required	2 front yards and 2 side yards required	25-feet each side on the street 10-feet other two sides	2 front yard setback	25-feet each side on the street 10- feet other two sides	11-feet	11-feet	11-feet	11-feet	15-feet	15-feet	15-feet
Building Height	35 feet or basement and two (2) floors (whichever is less)	35-feet	35-feet (4)	35-feet or 2- stories whichever is less	35-feet	35-feet	35-feet	35-feet	35-feet	35-feet	35-feet	35-feet
Minimum Distance between structures in the same lot	NA			30-feet	NA					15-feet	15-feet	15-feet
Maximum Building Coverage	20%	50%	NA	NA	NA	75%	55%	55%	55%	90%	90%	90%
Open Space Requirement (7)	10%	10%				10%						

Landscape Requirement	NA	NA	25% of total Project area	25% of total Project area	25% of total Project area	10%			
Minimum dwelling size	NA			900 sq. ft. of Living space	NA				
Parking	2 spaces per dwelling unit	2 spaces per dwelling unit	4.1 spaces per 1,00 sq. ft. of gross floor area	2 spaces per du+ Guest parking (6)	2 spaces per dwelling unit				
Perimeter buffer	NA				30-feet along HWY 112	20-feet adjacent to collector street Lamb Ln.	20-feet adjacent to collector street Lamb Ln.	20-feet adjacent to collector street Lamb Ln.	

FOOTNOTES

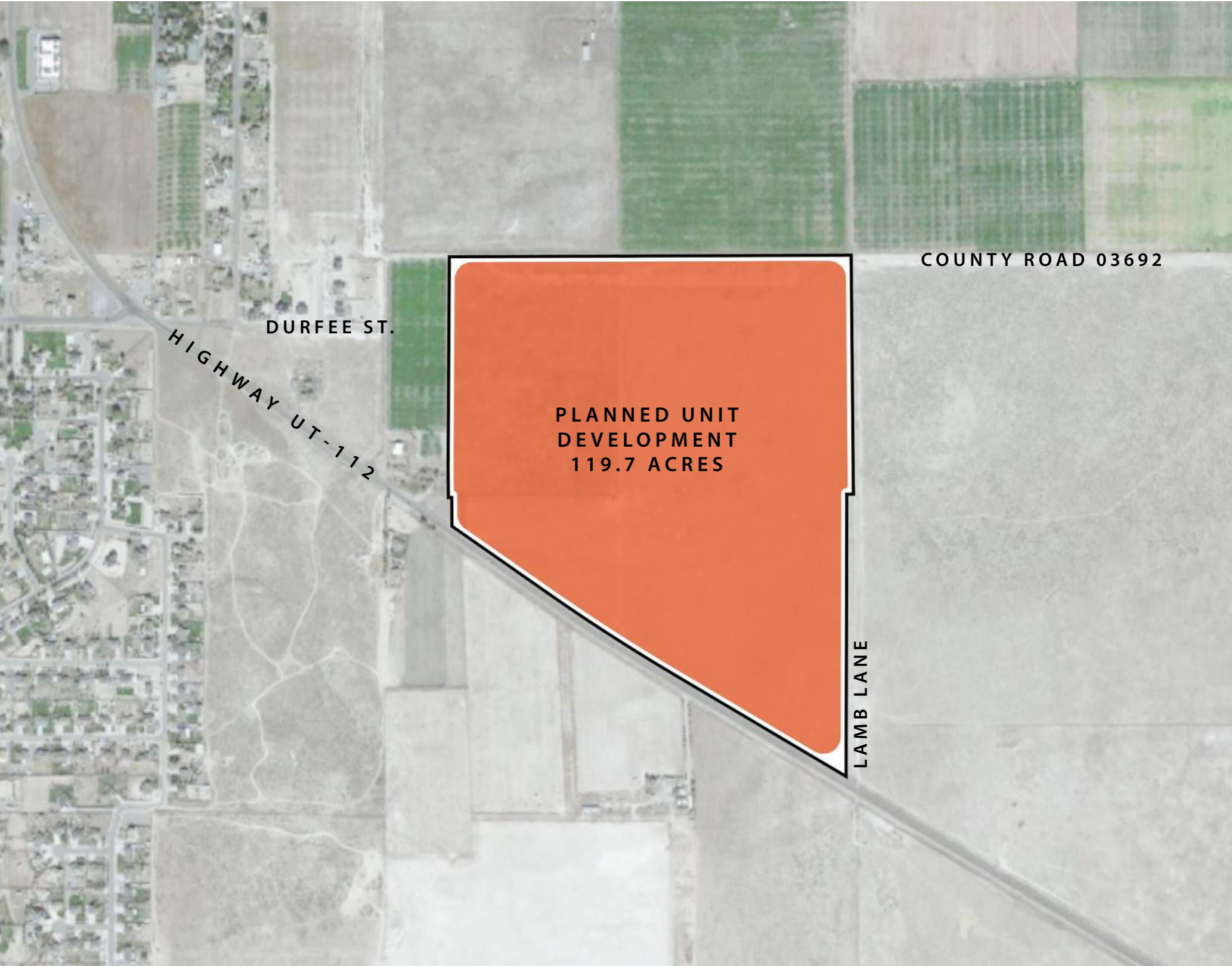
- (1) Minimum frontage (at property line on a public street or an approved private street
- (2) Setbacks shall be listed or match the easement width, whichever is greater
- (3) Side Setback each side
- (4) Heights of 3-stories above grade and 15 DU/Ac may be approved with special considerations of landscaping, buffering and architectural design that fit the scale of the surrounding neighborhood
- (5) Front setback may be reduced to 12-feet if the garage is setback from the front plane of the home, but in no case can the garage be closer than 20-feet to the front property line
- (6) Parking for the first ten (10) units shall provide one (1) separate designate visitor parking stall per dwelling unit. For each unit over the first ten (10) dwelling units, one (1) additional parking stall for each two (2) dwelling units shall be provided. For any partial stalls calculated, the applicant shall round up to the next whole number of stalls.
- (7) Open space is based on an overall project wide basis

Permitted Encroachments (subject to building code requirements)

- ☒ Encroachments within all setbacks of up to two (2) feet are allowed for roof eaves/overhangs, brick ledges, bay/box windows, fireplaces/chimneys, entertainment center bump outs, counterforts, cantilevers, exterior post/columns, solar panels, mechanical equipment including HVAC, brick ledges, light fixtures, and like features may be closer than 2-feet to the property line.
- ☒ Encroachments within all setbacks of up to three -six inches (3’-6”) is allowed for window wells, and like features of the structure.
- ☒ Ramps for handicap accessibility may encroach as needed.
- ☒ Stairs or steps from the home may encroach to the back of sidewalk outside of the private lot and including encroachments into public rights of way.
- ☒ Decks and covered patios may encroach up to seven (7) feet into the rear setback with the provision they are never enclosed.
- ☒ Only decks and covered patios less than 30-inches above grad may encroach into the side yard setback but must be a minimum of one-foot (1foot) from the side property line with the provision they are never enclosed.
- ☒ Permitted encroachments with the exception of concrete flatwork or pavers, may not be located in any easement.
- ☒ Steps, walks, screen walls, trash structures, structures used for ADA compliance and life safety measures are excluded from setback restrictions.



BUBBLE PLAN



TABULATIONS

TOTAL PROJECT AREA	119.7 AC
MAX. ALLOWABLE DENSITY	7.7 DU/AC
TOTAL ALLOWABLE UNITS	925 UNITS
MIN. OPEN SPACE	12.0 AC - 10%

LEGEND

 PLANNED UNIT DEVELOPMENT

NOTES

- Deseret Meadows will meet all Grantsville City open space requirements for Planned Unit Developments. Boundaries and locations of all open space areas may be adjusted by developer, but shall not result in less than the overall 10% required open space.





EXAMPLE CONCEPT LAYOUT





# FENCING

Fences and walls help define public and private open space boundaries, but can detract from the character of a community without regulation. The Village Plans will elaborate on design standards for the perimeter of collector roads. Fence design should correspond to the style of the Architecture.

Fences and perimeter walls should help delineate an open space from the adjacent properties. Subsequent Village Plans will elaborate on specific design standards and acceptable materials for this feature by location.

Minimal fencing should be incorporated into open space design except where required for certain sports fields/courts, dog parks, or swimming pools. Chain link is only acceptable around sports fields and for non-visible rear yard applications such as dog runs.

Visual permeability into open spaces invites the public to enter. The City is to accept operations, maintenance and replacements for all fencing surrounding city-owned and operated Open Space.

## RESIDENTIAL PERIMETER

- Back/Side Yard Height: maximum of 6 FT for privacy fencing between lots
- Fence styles should relate to the architectural style of the house
- Acceptable materials: metal, brick, stone, pre-cast concrete, solid-panel vinyl, etc.



Examples of residential fencing



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## COMMERCIAL FENCING

- Height: maximum 6 FT
- Acceptable materials - metal, gabion, trendstone, pre-cast concrete or equivalent.
- Avoid fencing except when adjacent to open space or residential property or to screen delivery alleys and dumpsters



Examples of commercial fencing



## OPEN SPACE FENCING

- Height: maximum 6 FT
- Acceptable materials - metal, pre-cast concrete, solid-panel vinyl, etc.



Examples of open space fencing



## MAJOR ROADWAYS FENCING

- Height: maximum 6 FT
- Acceptable materials - masonry, pre-cast concrete, solid-panel vinyl, or equivalent.



Examples of roadway fencing





## PRIVATE VS. PUBLIC MAINTENANCE

Homeowners' Associations (HOA) may be established for ownership and maintenance of the common areas of individual villages. Any HOA will be established under the applicable Utah Law with all necessary authority and reserve accounts in order to ensure proper maintenance of all open spaces within each village. A Master Homeowners' Association may be created for the overall community for the maintenance of open space, whether public or private. However, the Master Developer will not be responsible to establish or fund such an association.

The City will own and be responsible for the maintenance of any parks over 10 contiguous acres in size. The HOA will own and maintain all open spaces, parks under 10 acres, and park strips.

# OPEN SPACE

# OPEN SPACE NARRATIVE

## INTRODUCTION

A key element in the livability and long-term desirability of a Master Planned Community is the provision and integration of open space, trail corridors, active recreation, and community amenities. Open space is integral to the success of a community, as it provides public areas of respite, gathering, and connection. Just as architectural guidelines provide a palette of materials, recommended scale, and building setbacks, this plan provides the necessary components for the development of all open spaces.

This plan aims to expand on the traditional suburban park ideals by creating a coherent vision of the variety of open spaces to be developed. Located strategically throughout the community— and with ample pedestrian and bicycle access—open space promotes social interaction and healthier, active lifestyles. Well-designed open space plans incorporate a range of settings for both active and passive uses that cater to a broad range of ages and interests.

Deseret Meadows will meet or exceed the open space requirements outlined in Grantsville City code. When possible, these areas should highlight scenic views of the natural environment in an effort to visually connect residents to the surrounding context of the city and valley at large. To encourage the ongoing use of the proposed open space throughout the community, a variety of open space categories should be implemented. Open space amenities will be defined with each Village Plan and installed by the Village Developer. The intent of each space is to make a memorable landmark and intriguing destination that contributes to a unique sense of place.

## OPEN SPACE TYPES

- Linear Park
- Community Park
- Multi-Family Open Space
- Detention Basin

## POTENTIAL OPEN SPACE AMENITIES

- |                       |                         |
|-----------------------|-------------------------|
| • Open play fields    | • Walking/jogging paths |
| • Pickleball court(s) | • Pavilions             |
| • Basketball court(s) | • Parking               |
| • Playgrounds         | • Grill picnic areas    |

# OPEN SPACE TYPES

Deseret Meadows will feature a variety of open space types to meet the recreational needs of residents of both this development and the city of Grantsville overall. The images shown on this page provide precedent imagery for each of these open space types and for example only. The design and layout of each of these open spaces will be determined at preliminary site plan submittal.

## COMMUNITY PARK

This park area will be centrally located to the community. It is the intent of this park and associated trail corridors to meet the proportionate share of the level of service for a community park as detailed within the city’s adopted parks, recreation, trails, and related master plans. Details regarding the amenities are briefly discussed and illustrated in this MDP. The recreational intensity and programming of the open space will be refined with input from the city to best meet the needs of the surrounding community.



Brookside Park - South Jordan, UT



Blue Hole Park - Wimberly, TX

## DETENTION BASINS

With the large contiguous areas and proximity to trail corridors and other public open space areas, dual-use detention basin/park areas are to be installed by the developer and owned and maintained by the city.



Redfern Park - Minto, Australia



2nd St. Detention Basin - Champaign, IL

## MULTI-FAMILY OPEN SPACE

These open space areas will provide connectivity and recreation throughout multi-family development areas.



Hattontown Square - Herndon, VA



Church St. Apartments - Charlotte, NC

## LINEAR PARKS

These park areas may parallel trails throughout the development to provide trailside amenities and utilize corridor areas to create connectivity and recreation opportunities for residents.



Terry Hershey Park - Houston, TX



Cross Creek Ranch - Fulshear, TX

**NOTE: ALL GRAPHICS SHOWN ARE CONCEPTUAL ONLY AND INTENDED TO CONVEY GENERAL CHARACTERISTICS OF THE DEVELOPMENT THROUGH PRECEDENT IMAGERY. ACTUAL FORM, DESIGN AND LAYOUT WILL BE DETERMINED AT PRELIMINARY SUBDIVISION APPROVAL.**



OPEN SPACE AMENITIES

Deseret Meadows will provide a variety of amenities for residents to enjoy. These photos show examples of potential amenities that could be included in the open spaces and parks throughout the development.



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# PEDESTRIAN CONNECTIVITY

Deseret Meadows is intended to be a pedestrian-oriented community with streets constructed in scale with the community needs. Planning efforts documented in this MDP reiterate that the development layout should encourage pedestrian movement despite the anticipated prevalence of vehicles. Walkable districts will be a priority to reduce vehicle trips by allowing residents to park and be within walking distance of multiple destinations. Proximity to amenities combined with pedestrian/bike paths, on-street parking, and safe intersection crossings encourages multiple forms of travel.

The desire to accommodate various forms of transportation stems from the documented social and physical benefits associated with increased foot traffic within a community. Providing accessible and visible circulation routes for pedestrians and cyclists correlates to improved rates of physical activity. Providing the infrastructure that encourages physical activity also provides opportunities for social interaction between residents with leads to a higher reported quality of life. Increased interaction and pedestrian movement through a community fosters a sense of ownership and safety.

Site circulation will be refined as the street and trail layout for each village emerges. Temporary roadways may be required with each individual village for fire and secondary access purposes. These temporary roads will be addressed at the village plan level and be dependent on existing conditions at the time of development.

All trails currently proposed per the Existing and Planned City Trails plan for the city prior to the time of submittal will be taken into consideration. The proposed routes for trails extending through the development will be rerouted to align with internal features and connect to existing trails along the border of the project. Exact alignments will be determined along with each village plan.

Connector trails will be incorporated with the other open space uses within the community and provide the connectivity needed between major corridors such as Hwy 112 and along Lamb Lane. Details regarding the landscaping of these connector trails can be found in the landscape plans with more detail at the Village Plan level. These trails are to be improved by the developer and owned and maintained by the city.



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## DESIGN STANDARDS

City owned trails, including those adjacent to roadways, will be concrete. Privately maintained trails may use asphalt, concrete, paver, decomposed granite, or other compacted materials. Compacted materials should utilize a tackifier and be lined by steel edging on either side of the path to prevent vegetation from taking over pathways.

- Xeriscape should be incorporated as much as possible to encourage sparing use of water
- Adequate lighting, whether path or area lighting, should be provided for safe usage at night
- Trash receptacles and benches should be placed at a minimum of every ¼ mile
- Adjacent trees should provide continuous shade canopy at maturity
- Planting should be used to direct users to trailheads and add comfort to respite areas

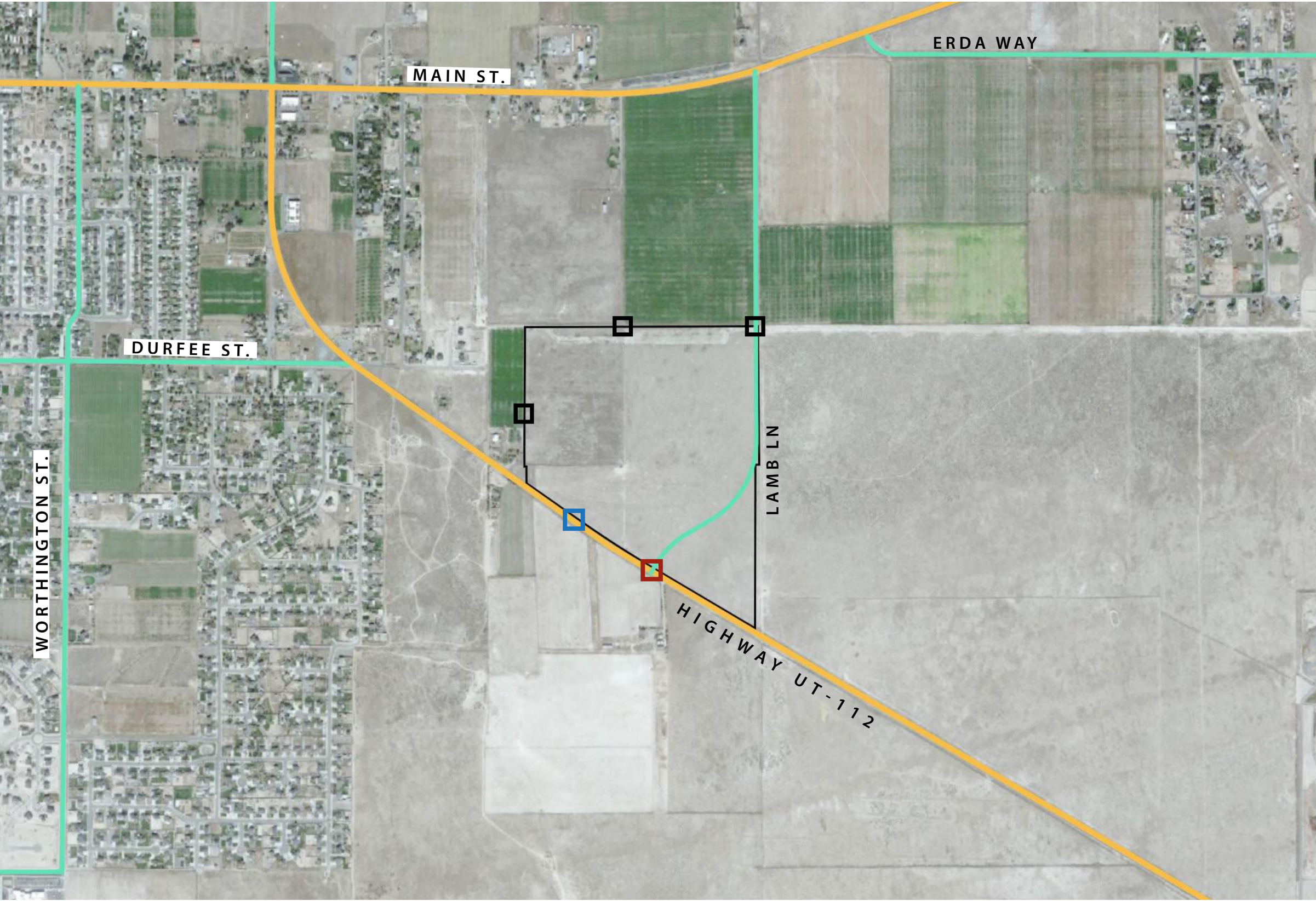
## TRAIL LANDSCAPE

- Trees should provide a continuous canopy at maturity
- Shrubs and ornamental grasses should be used to soften trail borders
- Trail entrances and respite zones should be accented with additional plantings
- Vegetation should be no higher than 24” for a distance of 3’ on either side of the trail

# TRANSPORTATION



FUTURE MASTER TRANSPORTATION PLAN



LEGEND

- PROJECT BOUNDARY
- COLLECTOR ROAD
- ARTERIAL ROAD
- FULL INTERSECTION,  $\pm 100'$   
(Future signalized UDOT intersection)
- FULL INTERSECTION,  $\pm 100'$   
(Future right-in/right-out intersection per UDOT standards)
- ACCESS POINT,  $\pm 100'$   
(Future intersection per City standards, location to be determined at preliminary)

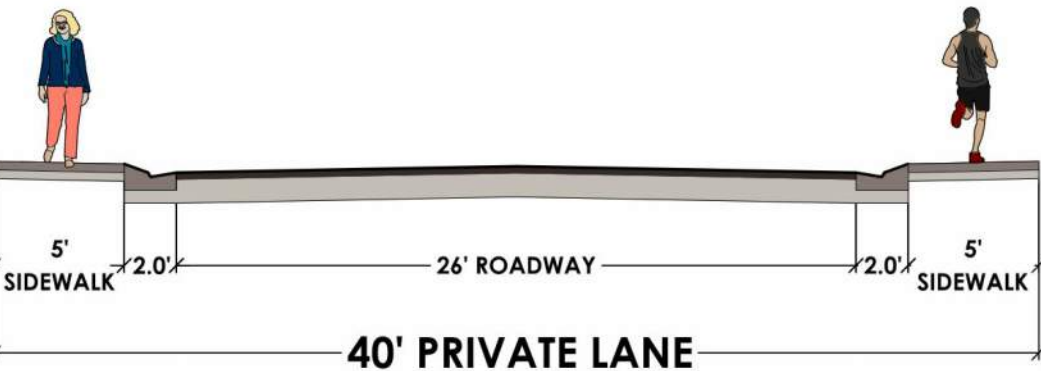


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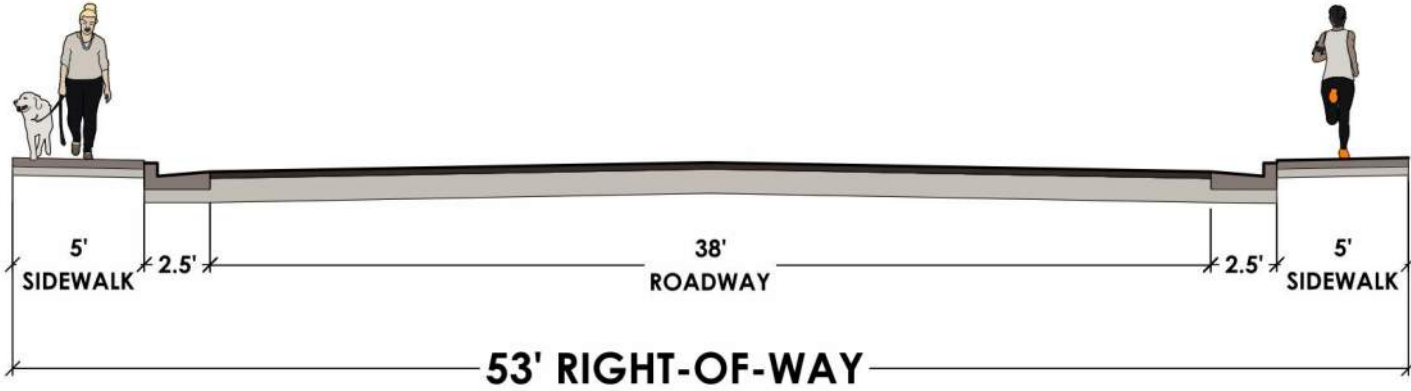


CROSS SECTIONS

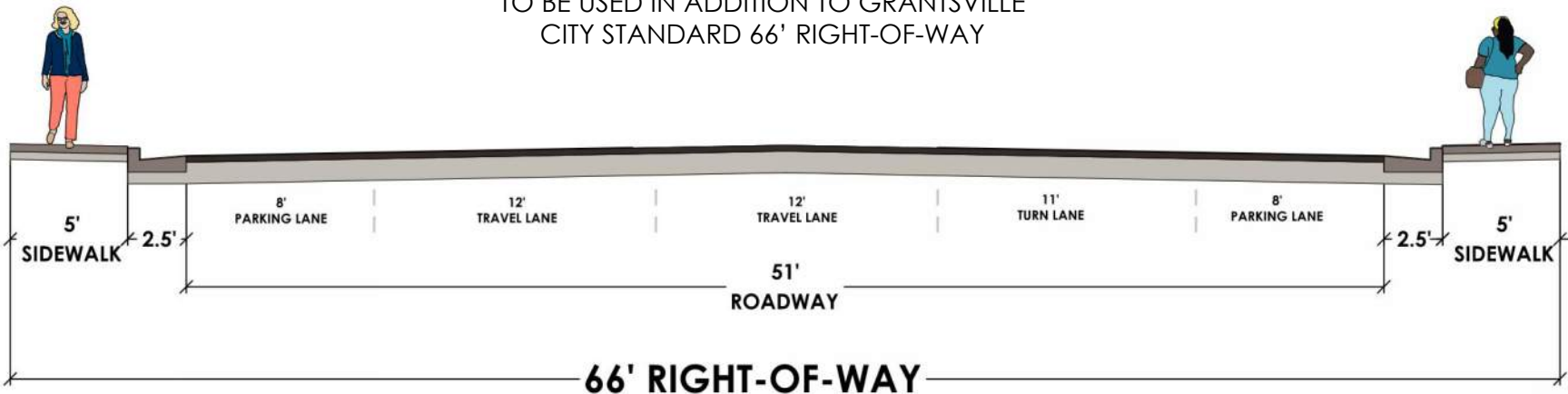
PRIVATE ROADWAYS



LOCAL ROADWAYS

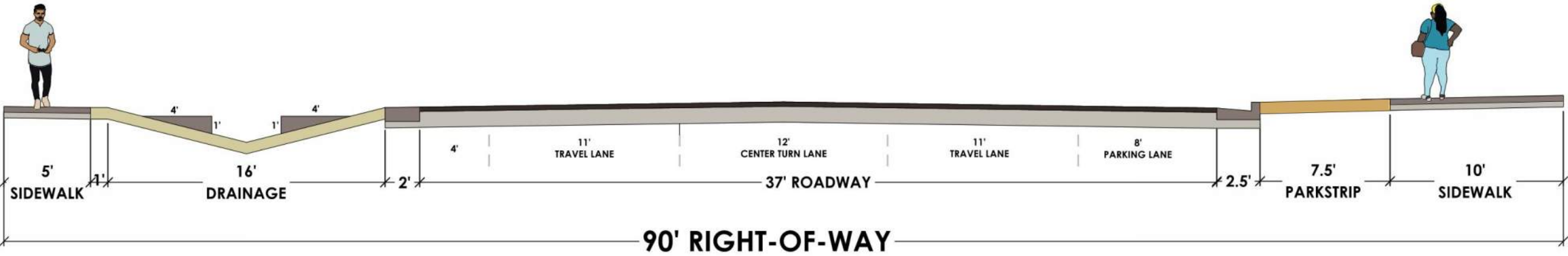


PROPOSED RIGHT-OF-WAY FOR INTERNAL PUBLIC ROADS  
TO BE USED IN ADDITION TO GRANTSVILLE  
CITY STANDARD 66' RIGHT-OF-WAY



PROPOSED RIGHT-OF-WAY FOR PUBLIC ROADS WITH  
RIGHT-IN/RIGHT-OUT INTERSECTIONS

COLLECTOR ROADWAY

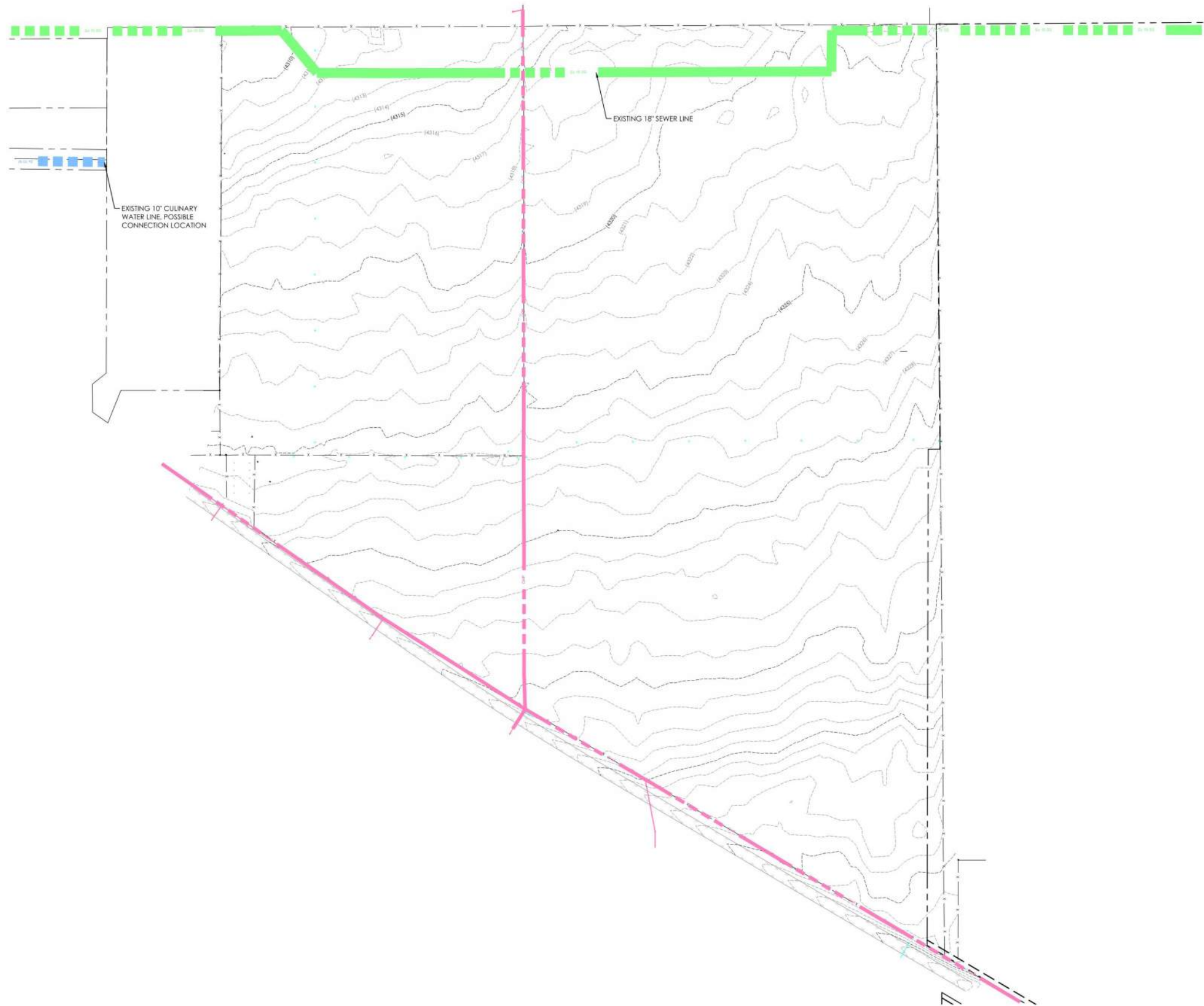


NOTE: ALL GRAPHICS SHOWN ARE CONCEPTUAL ONLY- ACTUAL FORM, DESIGN AND LAYOUT WILL BE DETERMINED AT PRELIMINARY SUBDIVISION APPROVAL.

# UTILITIES



UTILITIES



LEGEND

- EXISTING 18" SEWER
- EXISTING 10" CULINARY WATER
- EXISTING OVERHEAD POWER

NOTES:

EXISTING 18" SEWER LINE HAS CAPACITY FOR THIS SUBDIVISION AND IS THE OUTFALL LOCATION FOR THE PROPOSED SUBDIVISION.

WATER HAS BEEN STUBBED AT THE END OF DURFEE STREET AND IS A POSSIBLE CONNECTION POINT. FUTURE LOOPING BY NEIGHBORING DEVELOPMENT.

STORM DRAIN RETENTION BASIN WILL BE SIZED TO HOLD THE 100 YEAR 24 HOUR STORM EVENT. PIPES WILL BE SIZED FOR THE 10 YEAR STORM EVENT PER CITY CODE.

EXISTING IRRIGATION LINES WILL BE ABANDONED AND REMOVED. SECONDARY WATER WILL BE PROVIDED AS AVAILABLE .

## RETENTION NARRATIVE

Deseret Meadows is a 120-acre development located along the north side of HWY 112 in Grantsville, UT. The property will feature a mixed use of commercial, single-family, and multi-family units. The storm water system will be sized and designed during the preliminary stage of the development. There will be a retention pond that will be designed following Grantsville City retention standards. The pipes will be sized to convey a 10-year storm event to the retention basin. A storm water report detailing the storm water system and calculations will be provided with the preliminary approval. If the project is phased, storm water calculations will be provided for each phase, and the pond can be expanded as needed for the additional area that is added.